

EXHIBIT 2

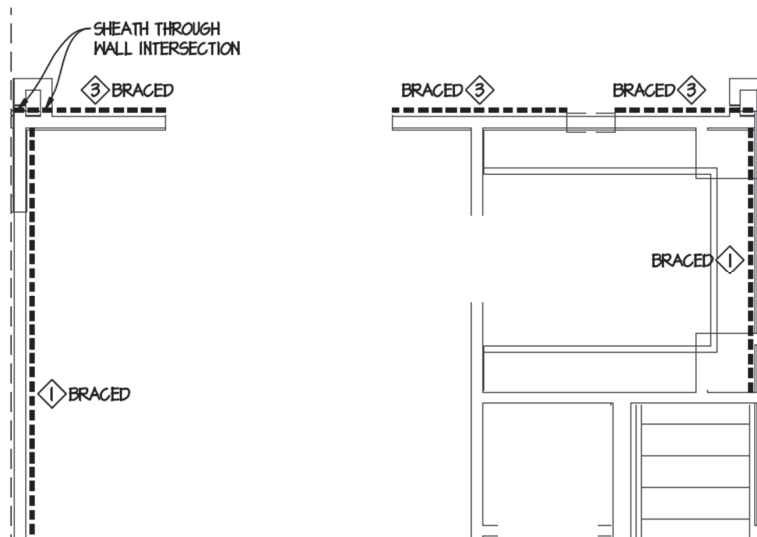


Figure 20. Taken from structural drawings of typical wall sheathing (i.e. shear wall) locations.



Figure 21. Taken by BSC of wood wall sheathing (i.e. shear walls) at front of Unit 3118 (arrows).



Figure 22. Taken by BSC of wood wall sheathing (i.e. shear wall) at front of Unit 3118.

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While missing wood sheathing was reported at several locations, there was no correlation to locations of shear wall panels as specified by the engineer. For example, a preceding *Figure* taken from the structural drawings depicts wood shear wall panels that extend behind the wood-framed bump-outs in the walls, but which do not wrap completely around the bump-outs. Additionally, wood wall sheathing and metal straps were observed at Unit 3118 and others, indicating that the missing wall panels were not pervasive. As such, BSC's inspection confirmed that not all of the wood wall sheathing was missing, and that extrapolation of any missing shear wall components to the entire project was unsupported by fact-evidence.

Repairs to any known missing or incorrectly installed exterior shear wall components would consist of removal the stucco and water-resistive barrier (WRB; i.e. building paper) at the specified location, and installation of the missing shear wall components. After the installation, the wall's portion of removed exterior cladding can be replaced using standard architectural methods.

Summary of Findings

Based on inspection of the subject property, research, and/or review of provided documents, BSC provides the following conclusions:

- The wood framing construction work performed by LeBlanc Construction was not the cause of the reported water infiltration.
- There was no confirmed missing wood construction at the balcony edges, as reported on pages 8-9 of the MCC Defect Issue Report dated January 31, 2022. The statements to the contrary therein were speculative and unsupported by fact-evidence.
- Missing shear wall components cannot be extrapolated to entire project.

Disclosure

BSC Forensics is a registered DBA of BSC Forensic Services, LLC with offices and experts nationwide; our corporate mailing address is 1519 Vander Wilt Lane, Katy, Texas 77449. Information collected during the course of this investigation has been retained in our files and will be made available to you upon your request. This document has been prepared for the sole use and purpose of JSH, and only you have the authority to distribute this document to any other persons, firms, or corporations. BSC, its agents, and/or employees do not have and do disclaim any contractual relationship with, or duty or obligation to, any party other than the addressee of this document and the principals for whom the addressee is acting. Only the document author(s) who signed and/or sealed this document have the authority to change its contents, and then, only in writing to you. This document addresses the results of work completed to date. Should additional information become available, BSC reserves the right to amend, as appropriate, our professional opinion(s).

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BSC File No. 220080S

February 14, 2022

JSH File No. 17412-00067

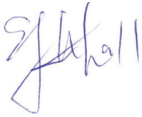
Thank you for the opportunity to serve you and other concerned parties through the performance of these services. Please feel free to use the following contact information to reach BSC at any time should you have questions or need additional services:

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Sincerely,



Evan J. Marshall, SE
Senior Forensic Investigator



Jarrod C. Burns, MS, PE
Principal - Senior Forensic Investigator

Appendix • Photographs



Expires Dec. 31, 2022

*This document was electronically
signed and sealed by:*

*Evan J. Marshall, SE
on February 14, 2022*

State of Arizona Engineering Seal
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Appendix

The Condominium Buildings and Property Photographs

Descriptions in this document reference front, back, left, and right. Orientation is based as if facing the structure from the designated global direction defined within the Property Description section of the report.

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Exterior Elevation Photographs



Front (north-facing) end of property.



Front elevation of the four buildings (two building in foreground, two buildings in background).

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Front elevation typical buildings and units.



End elevations of buildings.

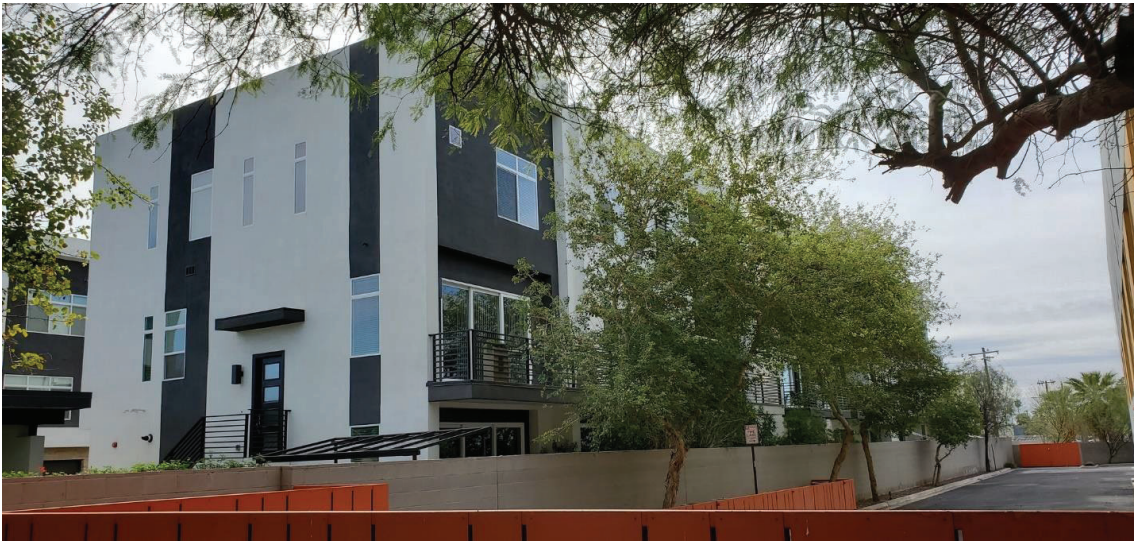
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Back elevation of typical building.



Back elevation of typical building.

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Exterior Cladding Photographs



Typical view of destructive investigation work in-progress.



Typical view of destructive investigation work through the stucco cladding.

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Typical view of destructive investigation work through the stucco cladding.



Typical view of destructive investigation work through the stucco cladding and water-resistant barrier (i.e. building paper).