

Exhibit F



Notice of Service of Process

Transmittal Number: 20052434
Date Processed: 07/08/2019

Primary Contact: Elizabeth Tice
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Electronic copy provided to: Shauna Ehlers
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Entity: K. HOVNIANIAN DEVELOPMENTS OF ARIZONA, INC.
Entity ID Number 3230104

Entity Served: K. Hovnanian Developments of Arizona, Inc.

Title of Action: Gallery Condominium Association vs. K. Hovnanian at Gallery, LLC

Document(s) Type: Notice

Nature of Action: Breach of Warranty

Case/Reference No: Not Shown

Jurisdiction Served: Arizona

Date Served on CSC: 07/05/2019

Answer or Appearance Due: Other/NA

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How Served: Certified Mail

Sender Information: Craig S. Nuss
303-792-5595

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EXHIBIT

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KHOV00001576

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July 3, 2019

Via Certified Mail, Return Receipt Requested

K. Hovnanian at Gallery, LLC
c/o Corporation Service Company
8825 N 23rd Avenue, Suite 100
Phoenix, AZ 85021

K. Hovnanian Developments of Arizona, Inc.
c/o Corporation Service Company
8825 N 23rd Avenue, Suite 100
Phoenix, AZ 85021

**Re: The Gallery
c/o The Management Trust
15010 N 78th Way, Suite 206
Scottsdale, AZ 85260**

Dear K. Hovnanian at Gallery, LLC; K. Hovnanian Developments of Arizona, Inc.:

We represent the Gallery Condominium Association ("Association") regarding the defective original construction of The Gallery condominium project located in Scottsdale, Arizona. The purpose of this letter is to provide you with formal notice of the defective work and the Association's claim pursuant to the Homeowners' Association Dwelling Actions (A.R.S. § 33-2002, et seq.), the Purchaser Dwelling Act (A.R.S. § 12-1361, et seq.), and the Association's governing documents.

The Association has retained a forensic expert, SBSA, Inc. ("SBSA") to investigate the defective construction of the common elements at The Gallery. The following defects and deficiencies in the common elements at The Gallery have been identified by SBSA:

A. STRUCTURAL

- LATERAL FORCE RESISTING SYSTEM (LFRS)
 - Non-Compliant LFRS

B. CIVIL

- GRADING AND DRAINAGE
 - Non-Compliant Slope of Grade Away from Foundation

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KHOV00001578

- Drainage Bound by Concrete Flatwork
- CONCRETE FLATWORK
 - Non-Compliant Isolation of Concrete Flatwork
- SITE STRUCTURES
 - Differential Movement of CMU Walls and Stairs

C. BUILDING ENVELOPE

- FAÇADE (EXTERIOR CLADDING AND SEALANTS) TYPE 1 – STUCCO
 - Missing Control/Movement Joints
 - Non-Compliant EPS Insulation Board for Stucco System
 - Non-Compliant WRB for Stucco System
 - Non-Compliant Slope at Parapet Caps
- MOISTURE-MANAGEMENT SYSTEM (BARRIERS, FLASHINGS, DRAINAGE, ETC.)
 - Non-Compliant Expansion Joints at Dissimilar Materials
 - No Weep Mechanism at Soffits
 - No Head Flashing
 - Non-Compliant Flashing to Stucco Interface
- ROOFING SYSTEM TYPE 1 – SPRAY POLYURETHANE FOAM (SPF)
 - Non-Compliant Slope to Roof Drains
 - Inadequate Support of Roof Air Conditioners
- ROOFING SYSTEM TYPE 2 – STUCCO OVER SELF-ADHERED MEMBRANE
 - Evidence of Water Entrapment
- ELEVATED DECKS, BALCONIES, OR WALKWAYS
 - Non-Compliant Slope of Balcony

These defective conditions are described in detail in the attached Notice of Claim Summary report dated July 2, 2019¹. The SBSA report includes photographs of the defective conditions, which were observed project-wide. The defects impair the structural integrity, functionality or appearance of the dwelling and will continue to do so in the future if not repaired or replaced.

In addition, the Association has experienced the following defective conditions to the common elements for which it has incurred, or will incur, expenses to repair:

- Deviation from the landscaping plan, including the use of three different types of crushed granite;
- Pool canopy drywall cracking;
- CMU blocks showing through stucco in pool canopy walls;
- Defective pool lights;
- Defective pool fireplace;

¹ Attachments to the SBSA Notice of Claim Summary can be accessed using the following link:
<https://www.dropbox.com/sh/fy1ic7bjm7m4dso/AACI79uVE5zkDutQ1yIT9dmLa?dl=0>

K. Hovnanian at Gallery, LLC et al.
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- Defective pedestrian gate;
- Defective entrance gate;
- Dead trees and plants;
- Defective irrigation;
- Missing bulbs in coach lights;
- Standing water at monument sign and rear of project; and
- Spray painting on pavement left by original contractors.


The Association anticipates that additional defects may be discovered during further investigation of the building systems. The Association reserves the right to supplement this notice pursuant to the Purchaser Dwelling Act.

The Association's claims against K. Hovnanian at Gallery, LLC, include but are not limited to, breach of implied warranty of workmanship and habitability and negligence, as well as breach of contract and misrepresentation, in its capacity as developer and declarant of the Association.

The Association looks forward to your timely response. The Association is willing to meet at a mutually acceptable place within The Gallery to discuss potential resolution of the claims. If you have any questions or would like to discuss this matter, please feel free to contact us.

Very truly yours,

BURG SIMPSON
ELDREDGE HERSH & JARDINE PC



Craig S. Nuss, Esq.
Penny J. Manship, Esq.

Enclosure

KHOV00001582



5926 McIntyre Street

Golden, Colorado 80403

Phone: 303.425.7272

Fax: 720.345.0250

July 2, 2019

Craig Nuss
Burg Simpson Eldredge Hersh Jardine PC
40 Inverness Drive East
Englewood, Colorado 80112

Project Number: 219061.00 (011)
Project Name: Gallery
Location: 3124 North 71st Street
Scottsdale, Arizona 85251
Subject: Notice of Claim Summary

Dear Mr. Nuss:

Per your request, SBSA, Inc. (SBSA) conducted a preliminary site observation, including limited interior observations, limited exterior observations, and random intrusive testing, at Gallery, which is located in Scottsdale, Arizona. The initial observation was conducted on December 19, 2018 by Jerod B. Faris, MSCE, PE. Preliminary intrusive testing was performed on May 13, 2019 and May 14, 2019 by Jerod B. Faris, MSCE, PE, and Edward L. Fronapfel, MSCE, PE.

According to documents obtained from the City of Scottsdale Building Department, K Hovnanian Homes was the developer/contractor for the project. The restricted purpose of this limited evaluation was to examine the general construction and performance of the subject property and to provide preliminary information regarding the existence, approximate location (by description of the relevant building component only), and nature of the non-compliant construction at the property for purposes of the property owner or its agent developing a Notice of Claim or initial list of defects pursuant to SBSA's understanding of Arizona law.

HB Bill 2578 states, "*construction defect*" will mean "a material deficiency in the design, construction, manufacture, repair, alteration, remodeling or landscaping of a dwelling that is the result of one of the following: (a) a violation of construction codes applicable to the construction of the dwelling; (b) the use of defective materials, products, components or equipment in the design, construction, manufacture, repair, alteration, remodeling or landscaping of the dwelling; or (c) the failure to adhere to generally accepted workmanship standards in the community."

The preliminary intrusive examinations were conducted to determine the presence and the condition of the underlying substrate and any water management systems behind the cladding systems and the integration to the roofing. The presence and proper installation of these components plays a vital role in the performance of the finish systems and in the overall weatherproofing capabilities of the systems to protect the structure.



Nautilus General Contractors, Inc. was the contractor who assisted SBSA with the preliminary testing and intrusive examination work. The unit owners and Craig Nuss were present on site during the observations and intrusive examination. No other parties or representative were present during our observations and intrusive examinations.

The original design plans, specifications, and related construction documents were not available for SBSA's review. Additional documents are required to determine the original design intent, as-built condition, and jurisdictional requirements for design requirements of the site. This summary is based on information obtained and reviewed to-date, and it is not meant to provide final engineering opinions regarding property conditions. Should additional information be made available or unknown conditions discovered, SBSA retains the right to periodically revise and supplement this report accordingly.

SUMMARY OF CONSTRUCTION NON-COMPLIANCE

Note: It should be noted that the non-compliant conditions outlined below are in no specific order of importance.

A. STRUCTURAL

The project consists of four buildings with three-story townhome units (Buildings A through D). Building A, located at the northwest corner of the site, has three total townhome units and the remaining three buildings each have five townhome units. There are a total of 18-units between the four buildings. The first level is a structural post-tensioned slab that serves as the shallow foundation system for the buildings as well as the floor system, including the garages. The superstructure is comprised of conventional wood framing.

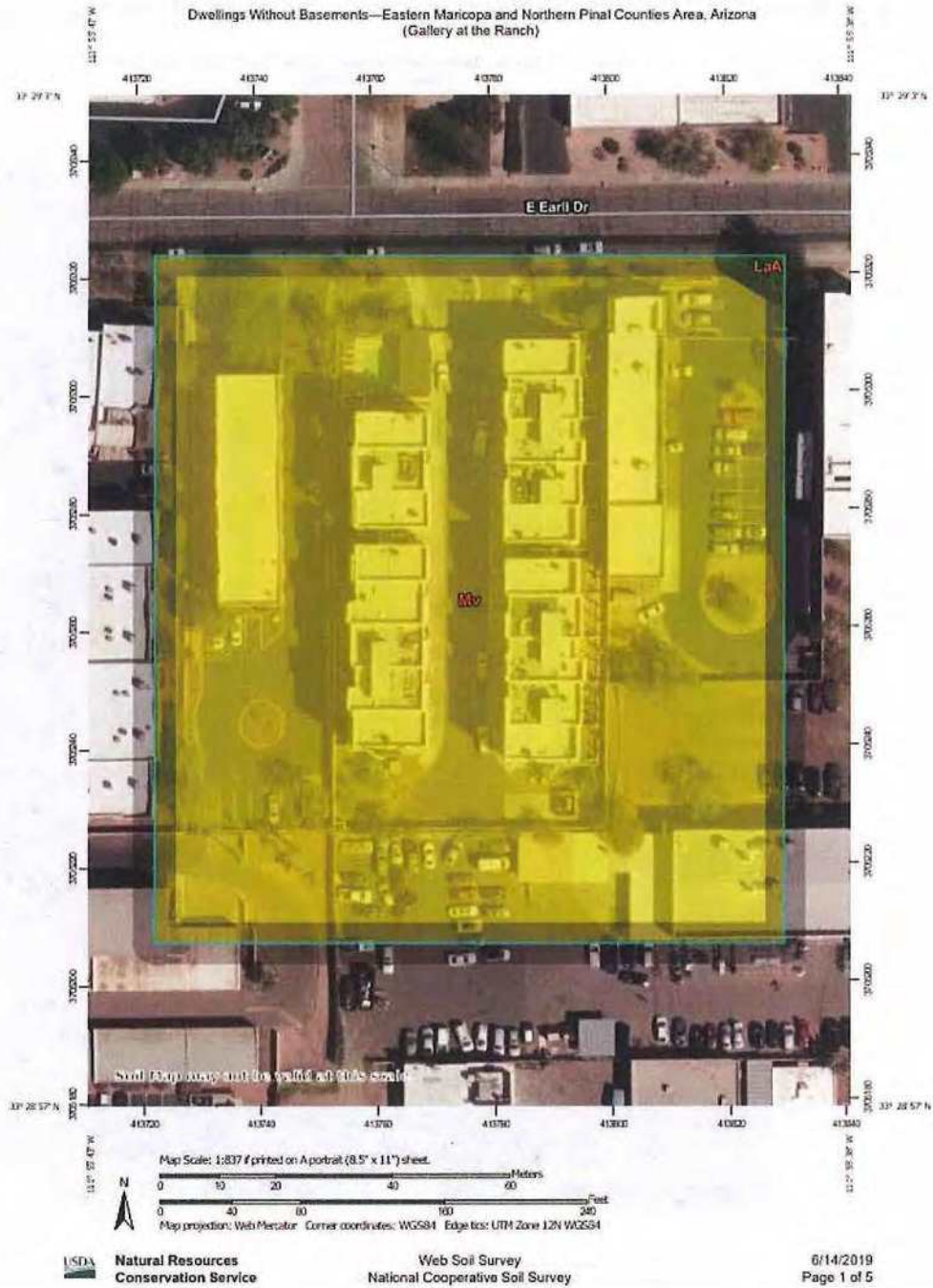
Full construction records have not yet been disclosed to determine the applicable designer and design intent for each site. The lateral force resisting system (LFRS) is unknown.

A complete evaluation of the structural elements will require review of the original soils report(s) and original construction drawings. These documents have not yet been provided for SBSA's review.

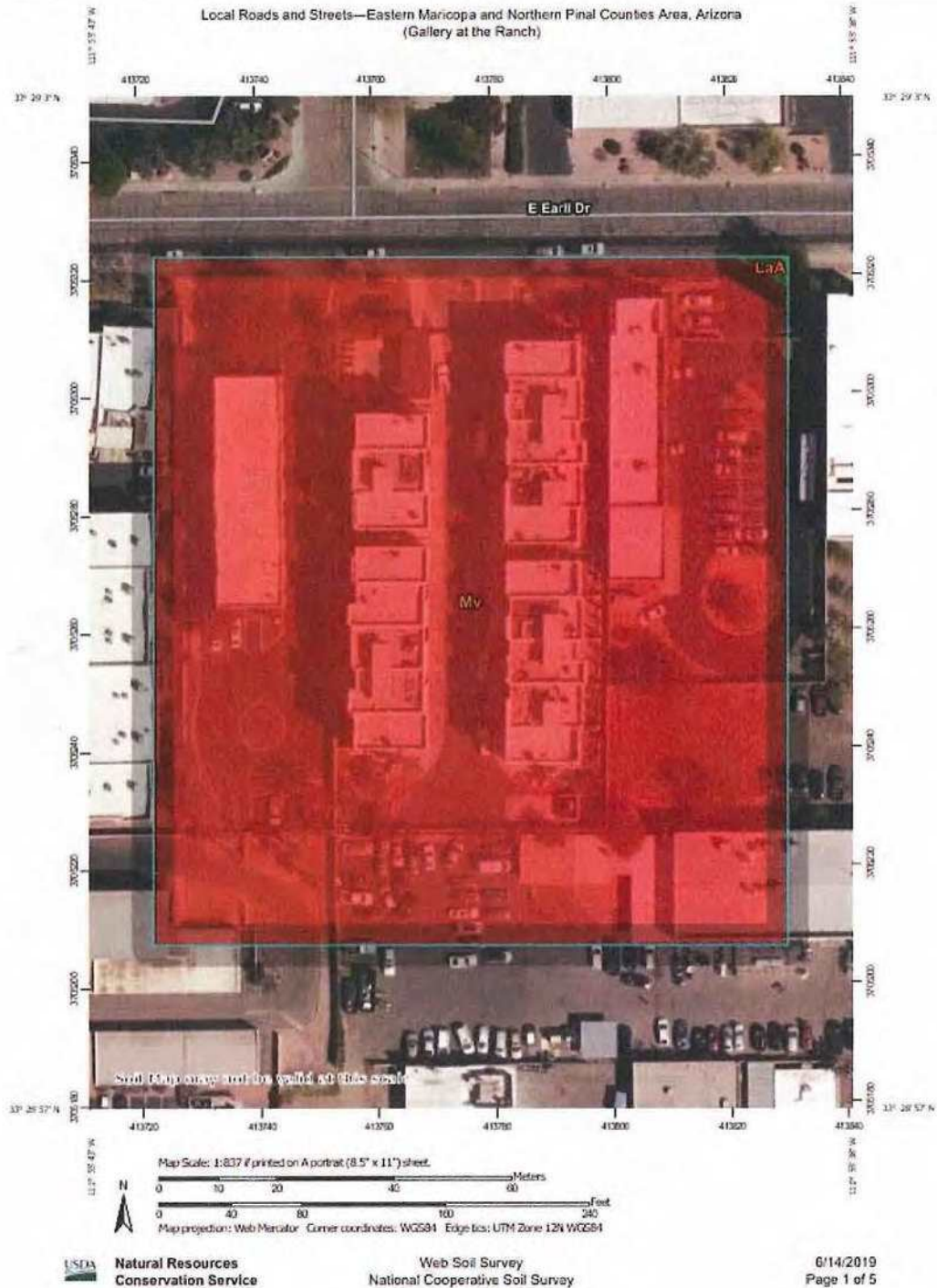
The following non-compliant conditions were discovered during SBSA's preliminary observations:

1. GEOTECHNICAL REPORT REVIEW

No geotechnical report has been provided for review. A complete review of the soils report is required prior to final engineering conclusions. According the United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey, the site is approximately 3-acres in size, and primarily Mohall loam (MLRA 40) underlies it. The soils are considered somewhat limited for shallow foundation systems, due to minor shrink swell issues (rated at 0.05), that would be moderately favorable for shallow foundation system use.



For roadway and streets, the site is considered limited due to the low strength of the on-site soils (rated at 1.00) and, to a lesser degree, the shrink swell associated with the loam.



2. LATERAL FORCE RESISTING SYSTEM (LFRS)

a. Non-Compliant LFRS

A complete LFRS is required by the Building Codes. This system must be created from the foundation to the roof to provide a complete load path. The following outlines SBSA's findings on the as-built systems. No plans have been provided for review at this time. A full review of the original design is required to determine what the intent was for the original LFRS.



December 19, 2018, Photo 14, OBS1, JBF, overview of the elevation showing limited panel size available for LFRS.



May 13, 2019, Disc IT1, Photograph 50, JBF, west elevation of Building D - Unit 3113, open stud framing with no exterior sheathing.



May 13, 2019, Disc IT1, Photograph 156, JBF, south elevation of Building C - Unit 3117, open stud framing with no exterior sheathing.



May 14, 2019, Disc IT3, Photograph 26, JBF, north elevation of Building A - Unit 3124, open stud framing with no exterior sheathing.



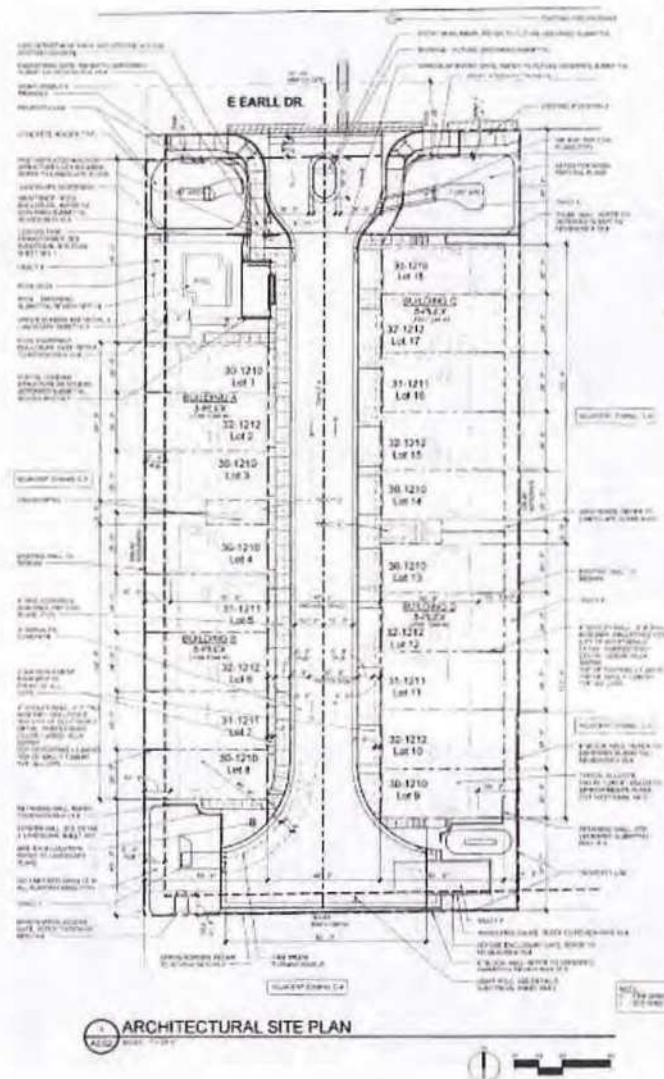
May 14, 2019, Disc IT3, Photograph 52, JBF, south elevation of Building B - Unit 3104, open stud framing with no exterior sheathing.

B. CIVIL

A site grading plan has not been reviewed at this time. A complete review of the as-built condition, site design, and any available grading documentation is required for a complete civil analysis. As shown on the Otak, Inc. Architectural Site Plan, the site contains retention ponds at each of the four corners. The buildings are located on the west and east elevations

of a center street with concrete sidewalks in front of each of the buildings. Concrete sidewalks to the front entries and driveways for the garages are present for each of the units on the street side. Concrete masonry unit (CMU) fences are present between the units and at the property lines. The rear yards of each unit are landscaped and a small landscaped area is present on the east side of the site between the rear yards and the property line. According to the Hydrometeorological Design Studies Center, NOAA Atlas 14 Point Precipitation Frequency Estimates, the 100-year 24-hour storm would be 3.52-inches. The ponds would have to serve to handle a peak flow of approximately 10-cubic-feet-per-second (cfs). The maximum depth by the Scottsdale requirements is 3-feet, and side slopes can be no more than a 4-to-1 ratio. The overall observation indicated that general compliance for the geometry had been obtained. The Stormwater Management Basin Design requires that the 100-year 2-hour storm be detained during the rainfall event. There should be as-built drawings certified by a Licensed Professional Engineer provided to the City of Scottsdale as part of the builder/developer's closeout. SBSA has not been provided with that document.

It is unclear from the site how the rear lots are graded to provide defined swales to either the north or south ponds. The CMU fencing and tight constraints limit the available surface area to construct defined channels.



The road slopes from a high point in the center roadway to the east and west. The overall site generally slopes from the north toward the south.

The following non-compliant conditions were discovered during SBSA’s preliminary observations:

1. GRADING AND DRAINAGE

a. Non-Compliant Slope of Grade Away from Foundation

According to the Building Code, a minimum 5-percent slope and a 6-inch clearance must be provided in the protective zone (10-feet defined by the code) or an alternative drainage system must be provided. A full review of the original design is required to determine the intent of the original civil design.



December 19, 2018, Disc OBS1, Photograph 80, JBF, east elevation of Building D - Unit 3111, poor slope of grade away from foundation.



December 19, 2018, Disc OBS1, Photograph 156, JBF, west elevation between Buildings C and D, poor slope of grade between buildings.



May 13, 2019, Disc IT2, Photograph 120, ELF, Building B - Unit 3110, incorporation of drainage systems should have been considered in the design and the construction to take the roof drainage, rear lot drainage, and street and curb drainage to the detention ponds.

b. Drainage Bound by Concrete Flatwork

The drainage should be unimpeded to the points of discharge. On this site, the condensate flows and the drainage that strikes the building are directed into small landscape strips along the entries and garages. The water will migrate below the walks, curbs, and asphalt areas.



December 19, 2018, Disc OBS1, Photograph 154, JBF, east elevation of Building B, drainage adjacent to foundation bound by concrete flatwork.



December 19, 2018, Disc OBS1, Photograph 157, JBF, east elevation of Building A, condensate from high efficiency units drain water adjacent to foundation bound by concrete flatwork into the electrical vault.

2. CONCRETE FLATWORK

a. Non-Compliant Isolation of Concrete Flatwork

The construction should allow the non-foundation elements to move independent of the structurally supported system, including allowance for any MEP systems that penetrate the slabs while being connected to the building system.



December 19, 2018, Disc OBS1, Photograph 136, JBF, south elevation of Building A - Unit 3118, no isolation joint between concrete flatwork and structural foundation.



December 19, 2018, Disc OBS1, Photograph 137, JBF, east elevation of Building B - Unit 3116, no isolation joint between concrete flatwork and structural foundation.

3. SITE STRUCTURES

The site structures that are not part of the residential unit should be designed to accommodate movement of the soils and thermal changes in addition to allowing for code compliant step heights and slopes.

a. Differential Movement of CMU Walls and Stairs



December 19, 2018, Disc OBS1, Photograph 45, JBF, east stairs between Buildings C and D, cracking and separation of stair wall indicative of differential movement.



December 19, 2018, Disc OBS1, Photograph 47, JBF, east stairs between Buildings C and D, cracking and separation of stair wall indicative of differential movement.



December 19, 2018, Disc OBS1, Photograph 132, JBF, west stairs between Buildings A and B, cracking and separation of stair wall.



December 19, 2018, Disc OBS1, Photograph 134, JBF, west stairs between Buildings A and B, cracking and separation of stair wall indicative of differential movement.

C. BUILDING ENVELOPE

The exterior façades are primarily stucco with some units having adhered stone veneer on the first floor at the garage doors. According to the Otak, Inc. architectural elevations (Sheets A3.11 through A3.41), the stucco is the "AMERIMIX FIBER BASE COAT STUCCO SYSTEM

OR APPROVED EQUAL." SBSA code review is based on the Amerimix Fiber Base Coat Stucco system as referenced in ICC-ES Evaluation Report ESR-3529. Based on the preliminary intrusive testing performed, the stucco was generally 1/2-inch thick and was installed over 1-inch expanded polystyrene (EPS) insulation board where open framing was used and over 1/2-inch EPS insulation board where a solid substrate was present. One layer of GMCraft 10 Grade D building paper was present behind the EPS insulation regardless of the substrate:



May 13, 2019, Disc ITL, Photograph 127, JBF, north elevation of Building B – Unit 3116, 1/2-inch thick stucco over 1/2-inch EPS insulation over GMCraft 10 paper over solid wood framing at face and 1-inch EPS at bottom where open framing is present.

The manufacturer of the adhered stone veneer is not known at this time. The main roof systems over the habitable space is a Spray Polyurethane Foam (SPF) roofing system with a pedestrian coating over some portions. The larger eyebrow accents under windows utilized a self-adhered membrane below the stucco, and the elevated balconies utilized a pedestrian coating over the structural wood framing.

Each of the wall façades are moisture-managed systems. The façades themselves do not provide the weather protection. Instead, the weather-resistive barrier (WRB) and related flashings behind the façades limit air and water intrusion into the building assemblies. Proper installation and integration of these materials is critical to the long-term performance of the property. The roof, unlike the façade, is a barrier system that requires proper slope to drain the water to the drains and the drains to convey the water to the civil infrastructure.

The following non-compliant conditions were discovered during SBSA's preliminary observations:

1. FAÇADE (EXTERIOR CLADDING AND SEALANTS) TYPE 1 - STUCCO

a. Missing Control/Movement Joints

During curing, control joints aid in capturing hydration cracking. After the curing, the joints provide for movement provisions, which are particularly necessary with post-tension slab design for edge and center lift characteristics and their impact on the veneers.



December 19, 2018, Disc OBS1, Photograph 5, JBF, west elevation of Buildings C and D, no control/movement joints provided.



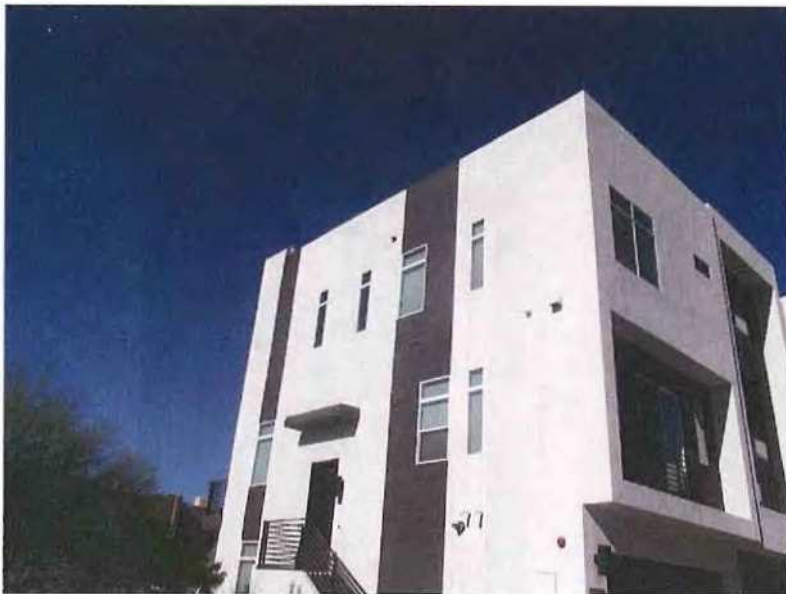
December 19, 2018, Disc OBS1, Photograph 13, JBF, east elevation of Buildings C and D, no control/movement joints provided.



December 19, 2018, Disc OBS1, Photograph 5, JBF, south elevation of Building D, vertical control joint only provided at corners of windows. This was common of north and south elevations at all buildings.



December 19, 2018, Disc OBS1, Photograph 110, JBF, east elevation of Buildings A and B, no control/movement joints provided.



December 19, 2018, Disc OBS1, Photograph 115, JBF, east elevation of Buildings A and B, no control/movement joints provided.

b. Non-Compliant EPS Insulation Board for Stucco System

May 13, 2019, Disc IT1, Photograph 53, JBF, west elevation of Building D - Unit 3113, 1/2-inch thick EPS insulation installed over gypsum sheathing does not incorporate vertical grooves and was not installed over two layers of Grade D paper, Tyvek StuccoWrap, or Tyvek DrainWrap. Thus, it is non-compliant with ESR-3529.



May 13, 2019, Disc IT1, Photograph 116, JBF, south elevation of Building B, 1/2-inch thick EPS insulation installed over OSB sheathing does not incorporate vertical grooves and was not installed over two layers of Grade D paper, Tyvek StuccoWrap, or Tyvek DrainWrap. Thus, it is non-compliant with ESR-3529.

c. Non-Compliant WRB for Stucco System



May 13, 2019, Disc IT1, Photograph 128, JBF, north elevation of Building B - Unit 3116, one layer of GMCraft 10 paper does not provide minimum water-resistance rating of 60-minutes in accordance with ESR-3529.



May 13, 2019, Disc IT1, Photograph 176, JBF, east elevation of Building C - Unit 3127, one layer of GMCraft 10 paper does not provide minimum water-resistance rating of 60-minutes in accordance with ESR-3529.

d. Non-Compliant Slope at Parapet Caps



May 13, 2019, Disc IT1, Photograph 33, JBF, Building C - Unit 3125, stucco does not slope at parapet cap.



May 13, 2019, Disc IT1, Photograph 98, JBF, Building C - Unit 3125, stucco does not slope at parapet cap.

2. MOISTURE-MANAGEMENT SYSTEM (BARRIERS, FLASHINGS, DRAINAGE, ETC.)

The primary exterior claddings include stucco and adhered stone veneer. None of these materials are considered to be a barrier system; therefore, it is expected that water will penetrate the face of the veneers as well as at interfaces between dissimilar materials.

Each product also can absorb and release some water to a limited degree. However, the hygrothermal effects of the products cannot be relied on as a means to handle the wetting and drying. The elevations, solar exposure, and shadows all impact each area and each elevation will behave differently. Proper water shedding detailing is a necessity to allow for durability and performance of the cladding systems in the protection of the building components.

In order to compensate for the expectation of water migration through the cladding face, the exterior claddings, as installed, rely on a secondary WRB to minimize air and manage moisture infiltration that occurs past the exterior sheathing and into the wall cavity. This WRB and related flashings are required by the building code, cladding manufacturers, and industry standards due to this expectation of cladding leakage. The WRB is a material that lies behind the façade claddings and over the exterior sheathing, and it is lapped in coordination with the flashing and weep systems to allow the water to move through the system and discharge away from the building with flashing and/or weep mechanism. These components in whole make up the moisture-management system.

In order to fully evaluate the moisture-management system, intrusive testing is required.

a. Non-Compliant Expansion Joints at Dissimilar Materials



May 13, 2019, Disc IT2, Photograph 33, ELF, west elevation of Building D - Unit 3115, no expansion joints provided between stucco and window. Cracking is present at this interface.



May 13, 2019, Disc IT2, Photograph 50, ELF, Building A - Unit 3122, no expansion joints provided between stucco and wood trim.



May 14, 2019, Disc IT3, Photograph 12, JBF, south elevation of Building B - Unit 3104, no expansion joints provided between stucco and window. A diagonal stucco crack is present at this location.

b. No Weep Mechanism at Soffits



December 19, 2018, Disc OBS1, Photograph 18, JBF, west elevation of Building D - Unit 3105, no weep mechanism at base of stucco at soffit.



December 19, 2018, Disc OBS1, Photograph 24, JBF, west elevation of Building D - Units 3111 & 3113, no weep mechanism at base of stucco at soffits.



December 19, 2018, Disc OBS1, Photograph 61, JBF, west elevation of Building C - Units 3125 & 3127, no weep mechanism at base of stucco at soffits.



December 19, 2018, Disc OBS1, Photograph 82, JBF, east elevation of Building D - Units 3109 & 3111, no weep mechanism at base of stucco at soffits.



December 19, 2018, Disc OBS1, Photograph 129, JBF, east elevation of Building A - Units 3122 & 3124, no weep mechanism at base of stucco at soffits.



December 19, 2018, Disc OBS1, Photograph 40, JBF, west elevation of Building D - Unit 3115, no flashing or weep mechanism provided at top of garage door opening

c. No Head Flashing



May 13, 2019, Disc IT1, Photograph 142, JBF, north elevation of Building C - Unit 3127, no sheet metal flashing at head of window opening.



May 13, 2019, Disc IT2, Photograph 34, ELF, west elevation of Building D - Unit 3115, no sheet metal flashing at head of window opening.

d. Non-Compliant Flashing to Stucco Interface



May 13, 2019, Disc IT1, Photograph 110, JBF, north elevation of Building B - Unit 3116, metal flashing at leading edge of roof is inset from stucco.



May 13, 2019, Disc IT1, Photograph 145, JBF, east elevation of Building C - Unit 3127, metal flashing at leading edge of balcony is inset from stucco. Stucco built up beyond flashing at this location.



May 13, 2019, Disc IT1, Photograph 176, JBF, east elevation of Building C - Unit 3127, metal flashing at leading edge of balcony is inset from stucco. Stucco built up to approximately 1-inch thick beyond flashing at this location.

- 3. ROOFING SYSTEM TYPE 1 - SPRAY POLYURETHANE FOAM (SPF)
 - a. Non-Compliant Slope to Roof Drains



December 19, 2018, Disc OBS1, Photograph 176, JBF, Building A - Unit 3124, roof slope measured to be 1.7-percent away from drain and evidence of water ponding is present.



May 13, 2019, Disc IT1, Photograph 29, JBF, Building C - Unit 3125, insufficient slope of roof at drain resulting in ponding water.



May 13, 2019, Disc IT2, Photograph 79, ELF, Building A - Unit 3122, insufficient slope of roof at drain resulting in ponding water.



May 14, 2019, Disc IT4, Photograph 58, ELF, Building D - Unit 3113, insufficient slope of roof at drain resulting in ponding water.

b. Inadequate Support of Roof Air Conditioners



May 13, 2019, Disc IT2, Photograph 146, ELF, Building B - Unit 3110, roof built-up and flashing provided to accommodate additional air conditioner after original construction. Surface is uneven and inadequate for support of air conditioner unit.

4. ROOFING SYSTEM TYPE 2 – STUCCO OVER SELF-ADHERED MEMBRANE

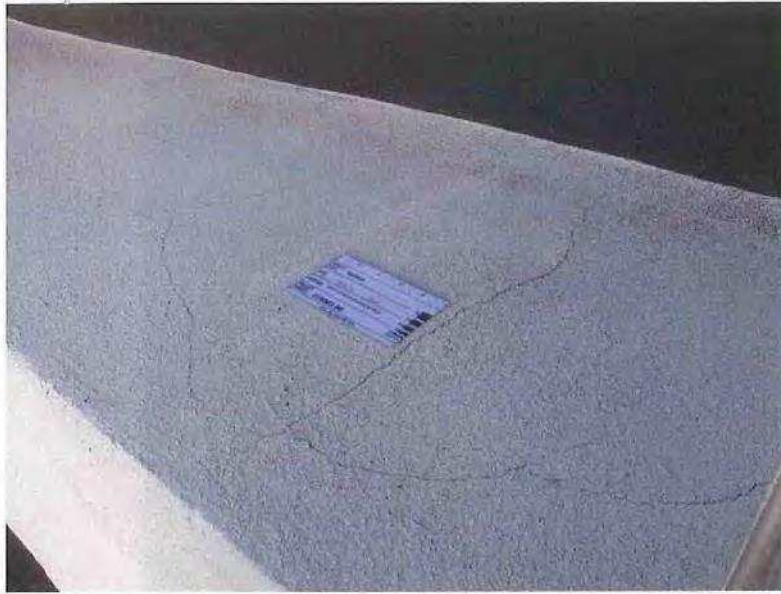
a. Evidence of Water Entrapment



May 13, 2019, Disc IT2, Photograph 21, ELF, west elevation of Building D – Unit 3115, XtraFlash membrane under stucco. Stain through holes in membrane.



May 14, 2019, Disc IT4, Photograph 13, ELF, west elevation of Building C – Unit 3123, high moisture content in building paper below stucco over self-adhered membrane.



May 14, 2019, Disc IT4, Photograph 26, ELF, west elevation of Building C - Unit 3125, cracking of stucco on window shelf indicative of water entrapment.

5. ELEVATED DECKS, BALCONIES, OR WALKWAYS

a. Non-Compliant Slope of Balcony



December 19, 2018, Disc OBS1, Photograph 163, JBF, Building A - Unit 3124, balcony slope measured to be 1.1-percent away from leading edge and evidence of water ponding is present.



December 19, 2018, Disc OBS1, Photograph 167, JBF, Building A - Unit 3124, evidence of water ponding is present at leading edge of balcony.

Limitations of Liability:

All comments made are based on conditions seen at the time of these visual observations and based on information provided at the time of authoring this report. SBSA does not accept any responsibility for unknown or unknowable conditions within the existing site or structures. In addition, if the professional services of the consultant do not extend to the repair phase, then, by the acceptance of this report, it is agreed that the owner will defend, indemnify, and hold harmless SBSA from any claim or suit whatsoever. SBSA agrees to be responsible for its own or its employees' negligent acts, errors, or omissions.

This Notice of Claim Summary is based upon initial interior and exterior site observations, as well as preliminary intrusive testing. Additional work may be necessary before final engineering opinions can be rendered regarding non-compliant items, their probable causes, and any necessary repairs.

In addition, this report is a general summary of writings, recordings, photographs, and other information, which was available for review, and placed within the job file. To the extent assumptions were made relating to the contents of this report, not all such assumptions are stated within this report or in SBSA's job file. A description of such assumptions can only be identified if specific questions are directed at discrete issues because many of such assumptions are incorporated in SBSA's experience, training, education, and judgment.

Sincerely,

SBSA, Inc.
Firm # 16794-0



Jerod B. Faris MSCE, PE
Residential Project Manager



Edward L. Fronapfel
Jul 2 2019 4:07 PM

Edward L. Fronapfel, MSCE, PE, D-IBFES, CFCC, CBIE, EDI, CBCP, PTI, F.NAFE, F.ASCE
Owner/President

JBF:ELF:rb

Attachment: Observation Photographs

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