

# EXHIBIT 2

**RAI DUER HUFF, P.C.**

3033 North Central Avenue, Suite 500

Phoenix, Arizona 85012

PH: (602) 476-7100

FAX: (602) 476-7101

Shannon Huff, #025514

[SHuff@rdhfirm.com](mailto:SHuff@rdhfirm.com)

Mohamad H. Tokko, #033015

[MTokko@rdhfirm.com](mailto:MTokko@rdhfirm.com)

*Attorneys for Third-Party Defendants Renco, LLC dba Renco Roofing and Desert Vista, Inc.*

**IN THE SUPERIOR COURT OF THE STATE OF ARIZONA**

**IN AND FOR THE COUNTY OF MARICOPA**

GALLERY COMMUNITY  
ASSOCIATION, an Arizona non-profit  
corporation,

Plaintiff;

v.

K. HOVNANIAN AT GALLERY, LLC,  
an Arizona limited liability company; K.  
HOVNANIAN ARIZONA  
OPERATIONS, LLC, an Arizona limited  
liability company; K. HOVNANIAN  
DEVELOPMENTS OF ARIZONA, INC.,  
an Arizona corporation; K.  
HOVNANIAN COMPANIES OF  
ARIZONA, LLC, an Arizona limited  
liability company; JOHN DOES I-X AND  
JANE DOES I-X, WHITE  
COPRPORTATIONS I-X ; BLACK  
PARTNERSHIPS I-X; AND GRAY  
LIMITED LIABILITY COMPANIES I-  
X,

Defendants.

K. HOVNANIAN AT GALLERY, LLC,  
an Arizona limited liability company; K.  
HOVNANIAN ARIZONA

NO. CV2020-008714

**DECLARATION OF WEST  
HARRINGTON ON BEHALF OF  
DESERT VISTA, INC.**

*(Assigned to the Honorable Katherine  
Cooper)*

1 OPERATIONS, LLC, an Arizona limited  
2 liability company; K. HOVNANIAN  
3 DEVELOPMENTS OF ARIZONA, INC.,  
4 an Arizona corporation; K.  
5 HOVNANIAN COMPANIES OF  
6 ARIZONA, LLC, an Arizona limited  
7 liability company;

8 Third-Party Plaintiffs

9 v.

10 CHAS ROBERTS AIR  
11 CONDITIONING, INC., an Arizona  
12 corporation; DESERT VISTA, INC., an  
13 Arizona corporation; GOTHIC  
14 LANDSCAPING, INC., a California  
15 corporation; HOME BUILDERS SITE  
16 SERVICES OF ARIZONA, LLC an  
17 Arizona limited liability company;  
18 LEBLANC BUILDING CO., INC., an  
19 Arizona corporation; LIBERTY  
20 CONSTRUCTORS, LLC, an Arizona  
21 limited liability company DBA LIBERTY  
22 ARIZONA; RENCO LLC, an Arizona  
23 limited liability company; dba RENCO  
24 ROOFING; R/S SERVICE & SUPPLY,  
25 INC., an Arizona corporation; SARGON  
MASONRY CONSTRUCTION, LLC, an  
Arizona limited liability company; and  
DOES 1-50.

Third-Party Defendants.

I, West Harrington, make the following declaration:

1. I am over 18 and am a resident of the State of California. I make this declaration based on my personal knowledge of the statements herein.

2. Since 1985, I have been President of Harrington Construction Co., Inc., a general contracting business based in Rancho Cucamonga, CA. I have over 35 years of experience as

1 a general contractor in the construction field and I have knowledge regarding construction  
2 means and methods, building assemblies, building codes, and the pertinent standards of care.

3 3. I hold professional licenses as a General Contractor, General Building  
4 Contractor or Licensed Contractor/Supervisor in the states of California (since 1984), Nevada  
5 (since 2000), Arizona (since 2008), Washington (since 2012), and Colorado (since 2014).

6 4. I have been an expert witness in the construction field since 1993. I am qualified  
7 to express an opinion on the standard of care of contractors and subcontractors.

8 5. In Arizona, in construction defect litigation against licensed professionals, such  
9 as Desert Vista, expert opinion testimony is necessary to prove: i) a factual basis for a defect  
10 claim; ii) the acts, errors or omissions that violate a pertinent care standard; and iii) the manner  
11 in which the acts, errors or omissions caused or contributed to damages sought by a claimant.  
12

13 6. Desert Vista, Inc. (“Desert Vista”) retained me to provide expert consulting  
14 services in the area of general contracting and specifically pertaining to stucco and related  
15 components, installation and cost of repair. Based on my experience and education, I am  
16 familiar with the building codes and other pertinent workmanship standards governing the  
17 construction of a project like the residential condominium project at issue in this case – The  
18 Gallery Condominium Association Project located at 3124 North 71<sup>st</sup> Street, Scottsdale,  
19 Arizona 85251.  
20

21 7. I am familiar with facts of this case and the pertinent allegations made by  
22 Plaintiff, The Gallery Community Association, and Third-Party Plaintiffs K, Hovnanian.

23 8. I am also familiar with, and have read, the various expert reports of persons  
24 retained as experts by both Plaintiff and Third-Party Plaintiffs.  
25

1           9.     The reports I have read are included in HCCI’s Case Document Index (Exhibit  
2 A).

3           10.    I have completed my evaluation of the claims asserted against Desert Vista in  
4 this matter, which included but was not limited to, my evaluation of the documents included  
5 in the HCCI Case Document Index. **(Exhibit A).**

6           11.    In addition, I prepared the following written expert reports and cost estimate  
7 responsive to the allegations being asserted against Desert Vista. The report is dated January  
8 31, 2022; the Court ordered deadline for Third-Party Defendants to disclose final expert reports  
9 and opinions was January 31, 2022. **(Exhibit B).**

11           a.     HCCI Investigation & Preliminary Report dated January 31, 2022.

12           b.     HCCI Cost Estimate included in the HCCI Investigation and Preliminary  
13 Report.

14           12.    To perform the above-referenced tasks, and to author the HCCI Investigation &  
15 Preliminary Report by the Court ordered deadline, \$32,536.00 **(Exhibit C – HCCI Statement**  
16 **of costs incurred to date).**

17           13.    I have been advised that on February 25, 2022, Third-Party Plaintiff emailed the  
18 attorneys in this case (3) new expert reports and opinions that include new expert opinions,  
19 repair protocol, costs of repair, and allocations of fault related to the Project. Based on the  
20 information provided to me, the reports included:  
21

22           a.     Report

23           b.     Cost of repair

24           c.     Allocation  
25

1 14. If the untimely expert reports and opinions are permitted, significant additional  
2 investigation will be necessary to evaluate the opinions, impact on Desert Vista, and to prepare  
3 written responsive reports.

4 15. I estimate it will take approximately sixty-five (65) additional hours of expert  
5 investigation to review, prepare, and respond to the new expert reports and opinions produced  
6 by Third-Party Plaintiffs on February 25, 2022, if those reports are permitted by the Court.  
7 That estimate includes the following tasks:  
8

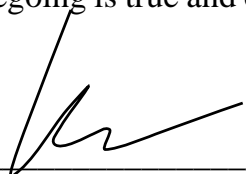
- 9 a. Review Third-Party Plaintiff's three new expert reports;
- 10 b. Respond thereto in a formal supplemental opinion;
- 11 c. Conduct additional site inspections,
- 12 d. Prepare for deposition and discovery on additional issues and reports; and
- 13 e. Discussions with counsel to respond and recalculate the cost of repair.

14 16. The total cost associated with this additional investigation is estimated to be  
15 **\$14,625.00. (65 hours x \$225/hour = \$14,625.00).**  
16

17 17. My office has already incurred **\$32,536.00 in expert costs. (Exhibit C).**  
18

19 Executed on: June 30, 2022.  
20

21 I declare under penalty of perjury that the foregoing is true and correct to the best of my  
22 knowledge.  
23

24   
25 \_\_\_\_\_  
West Harrington

# EXHIBIT A



**Case Document Index**

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
	<b>DEPO</b>			
	<b>PLAN</b>			
E-Link	2.1.38	2016-08-02 Gallery Arch Set.	KHOV00000983-1040	11/09/21
E-Link	2.1.39	2016-08-24 City Approved_Building Set.	KHOV00001041-1168	11/09/21
	<b>E-FILE</b>			
Email	1	ESR-3529.	16	11/09/21
Email	2	Plaintiff demand to Desert Vista dated 12/10/21 and Subcontractor Allocation Summary.	5	12/10/21
E-Link	3	Complaint & Jury Demand, dated 07/27/20.	8	01/28/22
E-Link	4	Third-Party Complaint, dated 10/06/20.	16	01/28/22
E-Link	5	Third-Party Defendant Desert Vista, Inc.'s Answer to Third-Party Complaint, dated 10/25/21.	13	01/28/22
	<b>E-FOLDER</b>			
<b>E-Link</b>	<b>1</b>	<b>Plaintiff Document Production</b>		
E-Link	<b>1.1</b>	<b>Plaintiff's 1st Supplemental Disclosures</b>		
E-Link	1.1.1	Plaintiff's 1st Supplemental Disclosure Statement.	28	11/23/21
E-Link	1.1.2	SBSA Photograph Log.	GALLERY-SBSA_000001-2	11/23/21
E-Link	1.1.3	SBSA Observation Photographs.	GALLERY-SBSA_000003-4551	11/23/21
E-Link	1.1.4	SBSA Observation Drawing Set.	GALLERY-SBSA_004552-4584	11/23/21
E-Link	1.1.5	SBSA Defect Matrix.	GALLERY-SBSA_004585	11/09/21
E-Link	1.1.6	Curriculum Vitae of Edward Fronapfel of SBSA.	GALLERY-SBSA_004586-4627	11/23/21
E-Link	1.1.7	SBSA Civil Repair Drawings.	GALLERY-SBSA_004628-4631	11/09/21
E-Link	1.1.8	SBSA Reference Table of Contents.	GALLERY-SBSA_004632-4634	11/23/21
E-Link	1.1.9	SBSA Reference Materials.	GALLERY-SBSA_004635-4951	11/09/21
E-Link	1.1.10	SBSA, Construction and Design Compliance Report dated 6/23/21.	GALLERY-SBSA_004952-5159	11/23/21
E-Link	1.1.11	SBSA rate sheet.	GALLERY-SBSA_005160	11/23/21



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	<u>1.2</u>	<u>Plaintiff's 2nd Supplemental Disclosures</u>		11/09/21
E-Link	1.2.1	Plaintiff's 2nd Supplemental Disclosure Statement.	26	11/09/21
E-Link	1.2.2	(former property management company) The Management Trust, Gallery HOA Financial Reports - September 2018 - September 2020.	GALLERY_001066-2648	11/09/21
E-Link	1.2.3	(current property management company) AMCOR produced documents including Porter Service Agreement, email correspondence, HOA documents, HOA Board Package, Gallery HOA financial reports, Gallery/Trestle Management Group Management Agreement, Gallery Income/Expense Statement, Activity Reports, Cash Disbursements, insurance documents, landscape proposal, photographs, Gallery board of directors meeting agenda, video, First Amendment to CC&Rs, Gallery Rules & Regulations (pg. 3310), AMCOR Association Property Management Agreement, Galley Special Board Meeting Minutes.	GALLERY_002649-6392	11/09/21
E-Link	1.2.4	Photographs received from Gallery owner, unit 3104.	GALLERY-JONES_3104-000010-12	11/09/21
E-Link	1.2.5	Curriculum Vitae and Testimony History of Steve Gustafson, Nautilus Building Consultants Preliminary Estimate of Costs dated 7/23/21, Nautilus Building Company Site Inspection Notes & Photographs.	GALLERY-NBC_000001-470	11/09/21
E-Link	1.2.6	SBSA Technical Memorandum dated July 22, 2021.	GALLERY-SBSA_005161-5162	11/09/21
E-Link	<u>1.3</u>	<u>Plaintiff's 3rd Supplemental Disclosures</u>		11/09/21
E-Link	1.3.1	Plaintiff's 3rd Supplemental Disclosure Statement.	26	11/09/21
E-Link	1.3.2	(current property management company) AMCOR produced documents including email correspondence between HOA and Venture Land Management re tree trimming.	GALLERY_006393-6394	11/09/21
E-Link	1.3.3	Nautilus Building Company observation photographs on behalf of K. Hovnanian. Photographs taken by Nautilus Building Company at unit 3104 on 7/26/21[GALLERY-NBC_004987-4998]. Photographs taken by Nautilus Building Company at unit 3106 on 7/26-27/21 [GALLERY-NBC_004999-5012]. Photographs taken by Nautilus Building Company at unit 3110 on 2/5/21 [GALLERY-NBC_005013-5033].	GALLERY-NBC_000471-5033	11/09/21
E-Link	1.3.4	Photographs received from Gallery owner, unit 3123.	GALLERY-WOLIN_3123-000001-27	11/09/21
E-Link	<u>1.4</u>	<u>Plaintiff's 4th Supplemental Disclosures</u>		11/09/21
E-Link	1.4.1	Plaintiff's 4th Supplemental Disclosure Statement.	26	11/09/21
E-Link	1.4.2	Photographs received from Gallery owner unit 3104.	GALLERY-JONES_3104-000013-15	11/09/21
E-Link	1.4.3	Photographs and videos received from Gallery owner unit 3106.	GALLERY-FISCHER_3106-000001-12	11/09/21



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	1.4.4	Emails and photographs from MSW Contracting LLC related to unit 3106 and email from AMCOR.	GALLERY_006395-6404	11/09/21
E-Link	<u>1.5</u>	<u>Plaintiff's 5th Supplemental Disclosures</u>		11/09/21
E-Link	1.5.1	Plaintiff's 5th Supplemental Disclosure Statement.	27	11/09/21
E-Link	1.5.2	Redacted versions of previously produced documents. (former property management company) The Management Trust, Gallery HOA Financial Reports - September 2018 - September 2020)	GALLERY_001437	11/09/21
E-Link	1.5.3	Redacted versions of previously produced documents. (former property management company) The Management Trust, Gallery HOA Financial Reports - September 2018 - September 2020)	GALLERY_001666-1671	
E-Link	1.5.4	Redacted versions of previously produced documents. (former property management company) The Management Trust, Gallery HOA Financial Reports - September 2018 - September 2020)	GALLERY_002446-2447	
E-Link	1.5.5	Redacted versions of previously produced documents.	GALLERY_006199-6210	
E-Link	1.5.6	Temporary Repair Photographs taken by Nautilus Building Company at unit 3104 on August 24, 2021.	GALLERY-NBC_005034-5041	11/09/21
E-Link	1.5.7	Temporary Repair Photographs taken by Nautilus Building Company at unit 3110 on August 24, 2021.	GALLERY-NBC_005042-5047	11/09/21
E-Link	1.5.8	Temporary Repair Photographs taken by Nautilus Building Company at unit 3112 on January 28, 2020.	GALLERY-NBC_005048-5051	11/09/21
E-Link	1.5.9	Privilege Log.	36	11/09/21
E-Link	<u>1.6</u>	<u>Plaintiff's 6th Supplemental Disclosures</u>		11/09/21
E-Link	1.6.1	Plaintiff's 6th Supplemental Disclosure Statement.	28	11/09/21
E-Link	1.6.2	Photograph received from Gallery owner for unit 3116.	GALLERY-SLUSARZ-	11/09/21
E-Link	1.6.3	Photographs received from Gallery owner for unit 3112.	GALLERY-CHANG_3112-000007-8	11/09/21
E-Link	1.6.4	Temporary Repair Photographs taken by Nautilus Building Company at unit 3112 on August 31, 2021.	GALLERY-NBC_005052-5063	11/09/21
E-Link	<u>1.7</u>	<u>Plaintiff's 7th Supplemental Disclosures</u>		11/09/21
E-Link	1.7.1	Plaintiff's 7th Supplemental Disclosure Statement.	29	11/09/21
E-Link	1.7.2	Documents received from AMCOR including HOA correspondence, The Gallery HOA landscape meeting minutes, photographs.	GALLERY_006423-6433	11/09/21
E-Link	1.7.3	Supplemental Privilege Log.		11/09/21
E-Link	<u>1.8</u>	<u>Plaintiff's 8th Supplemental Disclosures</u>		11/09/21
E-Link	1.8.1	Plaintiff's 8th Supplemental Disclosure Statement.	29	11/09/21
E-Link	1.8.2	Photographs received from Gallery owner unit 3106.	GALLERY-FISCHER_3106-000013-22	11/09/21
E-Link	1.8.3	Repair Invoice from Nautilus General Contractors, Inc. for leaks at Gallery units 3104, 3106, 3110 and 3112.	GALLERY-NBC_005064-5075	11/09/21
E-Link	1.8.4	SBSA, Supplemental Construction and Design Compliance Report dated 10/14/21.	GALLERY-SBSA_005163-5192	11/09/21



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	1.8.5	SBSA Observation Drawings.	GALLERY-SBSA_005193-5197	11/09/21
E-Link	1.8.6	SBSA Observation Photographs.	GALLERY-SBSA_005198-5397	11/09/21
E-Link	1.8.7	SBSA Reference Materials.	GALLERY-SBSA_005398	11/09/21
E-Link	<u>1.9</u>	<u>Plaintiff's 9th Supplemental Disclosures</u>		11/09/21
E-Link	1.9.1	Plaintiff's 9th Supplemental Disclosure Statement.	29	11/09/21
E-Link	1.9.2	February 21, 2020 Association's Response Letter to K. Hovnanian's February 5, 2020 Notice of Intent to Repair.	GALLERY_006434-6438	11/09/21
E-Link	1.9.3	July 31, 2019 K. Hovnanian Letter Requesting Inspections of Common Areas at Gallery Community Association.	GALLERY_006439	11/09/21
E-Link	1.9.4	Certified Quit-Claim Deed dated October 6, 2016, recorded October 7, 2016, between K. Hovnanian at Gallery, LLC and Gallery Community Association.	GALLERY_006440-6442	11/09/21
E-Link	<u>1.10</u>	<u>Plaintiff's 10th Supplemental Disclosures</u>		11/15/21
E-Link	1.10.1	Plaintiff's 10th Supplemental Disclosure Statement.	29	11/15/21
E-Link	1.10.2	Nautilus Building Consultant, Revised Preliminary Estimate of Costs dated 11/8/21.	GALLERY-NBC_005076-5092	11/15/21
E-Link	1.10.3	State of Arizona Articles of Organization and Articles of Amendment.	GALLERY_006443-6478	11/15/21
E-Link	<u>1.11</u>	<u>Plaintiff's 11th Supplemental Disclosures</u>		01/28/22
E-Link	1.11.1	Plaintiff's 11th Supplemental Disclosure Statement.	30	01/28/22
E-Link		Documents received from Trestle Management Group (former property management company at The Gallery)	GALLERY-TRESTLE 000001-4065	01/28/22
E-Link	<u>1.12</u>	<u>Plaintiff's 12th Supplemental Disclosures</u>		01/28/22
E-Link	1.12.1	Plaintiff's 12th Supplemental Disclosure Statement.	31	01/28/22
E-Link	1.12.2	Nautilus Building Company Temporary Repair Photographs at unit 3124.	GALLERY-NBC_005093-5119	01/28/22
E-Link	1.12.3	Photographs received from Gallery owner for unit 3124, Email from Gallery owner for unit 3124 regarding the ceiling leak.	GALLERY-STAVROFF_3124-000083-87	01/28/22
E-Link	<u>1.13</u>	<u>Plaintiff's Initial Disclosures</u>		01/28/22
E-Link	1.13.1	Plaintiff's Initial Disclosure Statement.	27	01/28/22
E-Link	<u>1.13.2</u>	<u>Plaintiff's Initial Disclosures</u>		
E-Link	1.13.2.1	The Management Trust (former property management company at The Gallery) documents including project plans, Gallery HOA Walk with Builder and Board notes, invoices, Gallery General Ledger Trial Balance, Certificate of Disclosure, CC&Rs, Gallery HOA Meeting Minutes, proposals, K. Hovnanian counsel correspondence, Reponse to K. Hovnanian's February 5, 2020 notice of Intent to Repair Notice, compalints, 10/10/18 Final Walk at Gallery, SSC Inspection Report, email correspondence, floor plans, Gallery HOA Balance Sheets, The Gallery Cash Flow Spwacific Projections, phtoographs, 2017 Annual Meeting Agnda, Gallery HOA Executie Meeting Agenda, IAnnual Income Statement.	GALLERY_000001-499	01/28/22



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	1.13.2.1	The Management Trust (former property management company at The Gallery) documents including Gallery HOA Executive Meeting Agenda, annual meeting notices, Annual Minutes, Financial Summary, Gallery Statement of Revenues and Expenses, Executive Minutes, Gallery HOA Open Minutes, photographs, estimates.	GALLERY_000500-939	01/28/22
E-Link	1.13.2.2	Gallery owners documents including email correspondence, photographs and videos.	GALLERY_000940-1065	01/28/22
Email	1.14	<b>Plaintiff's 13th Supplemental Disclosures</b>		05/03/22
Email	1.14.1	Plaintiff's 13th Supplemental Disclosure Statement.	31	05/03/22
Email	1.14.2	Nautilus Building Consultants Rebuttal Response to Defense Estimate dated 4/28/22.	GALLERY-NBC_005120-5123	05/03/22
Email	1.14.3	SBSA, Inc. Rebuttal Report – BHA dated 5/2/22.	GALLERY-SBSA_005399 - 5434	05/03/22
Email	1.14.4	SBSA, Inc. References to Rebuttal Report – BHA.	GALLERY-SBSA_005435-5436	05/03/22
Email	1.14.5	SBSA, Inc. Rebuttal Report – BSC dated 5/2/22.	GALLERY-SBSA_005437-5440	05/03/22
Email	1.14.6	SBSA, Inc. Rebuttal Report – MC Consultants dated 5/2/22.	GALLERY-SBSA_005441-5446	05/03/22
Email	1.14.7	SBSA, Inc. References to Rebuttal Report – MC Consultants.	GALLERY-SBSA_005447-5448	05/03/22
Email	1.14.8	SBSA, Inc. Rebuttal Report – PGG dated 5/2/22.	GALLERY-SBSA_005449-5465	05/03/22
Email	1.14.9	SBSA, Inc. Rebuttal Report – Shelton Consulting Group dated 5/2/22.	GALLERY-SBSA_005466-5473	05/03/22
<b>E-Link</b>	<b>2</b>	<b>Defendant/Third-Party Plaintiff K. Hovnanian Document Production</b>		11/09/21
E-Link	2.1	<b>K. Hovnanian's Initial Disclosures</b>		11/09/21
E-Link	2.1.1	K. Hovnanian's Initial Disclosure statement.	19	11/09/21
E-Link	2.1.2	2015-09-08 Final Walk Map.	KHOV00000001	11/09/21
E-Link	2.1.3	2016-05-10 Gallery CCRS_recorded.	KHOV00000002-45	11/09/21
E-Link	2.1.4	2018-08-23 K Hov_Gallery-Sign off.	KHOV00000046-51	11/09/21
E-Link	2.1.5	2007-01-01 Home Builders Ltd Warranty_ PWC form No 117 Revised 01_2007.	KHOV00000052-66	11/09/21
E-Link	2.1.6	2008-03-11 Gothic Landscape Inc Master Subcontract Agreement.	KHOV00000067-108	11/09/21
E-Link	2.1.7	2008-03-19 Chas Roberts Master Subcontract Agreement.	KHOV00000109-150	11/09/21
E-Link	2.1.8	2008-04-08 Home Builder Services Master Subcontract Agreement.	KHOV00000151-195	11/09/21
E-Link	2.1.9	2008-04-15 Aztec Lighting Master Subcontract Agreement.	KHOV00000196-234	11/09/21
E-Link	2.1.10	2008-04-15 R_S Service and Supply Master Subcontract Agreement with attachments.	KHOV00000235-269	11/09/21



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
Desert Vista, Inc. (R&B)

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	2.1.11	2008-04-15 R_S Service and Supply Master Subcontract Agreement.	KHOV00000270-302	11/09/21
E-Link	2.1.12	2008-04-24 ProTex Master Subcontract Agreement.	KHOV00000303-335	11/09/21
E-Link	2.1.13	2009-01-05 ProTex Master Subcontractor Agreement.	KHOV00000336-373	11/09/21
E-Link	2.1.14	2009-08-31 X O Windows Master Subcontract Agreement.	KHOV00000374-413	11/09/21
E-Link	2.1.15	2010-03-03 Desert Vista, Inc Master Subcontract Agreement.	KHOV00000414-467	11/09/21
E-Link	2.1.16	2013-08-13 Liberty Constructors Inc Master Subcontract Agreement.	KHOV00000468-523	11/09/21
E-Link	2.1.17	2015-03-18 ProTex GeoTech Report.	KHOV00000524-560	11/09/21
E-Link	2.1.18	2015-06-08 LeBlanc Building Co Master Subcontract Agreement with Work Agreement.	KHOV00000561-612	11/09/21
E-Link	2.1.19	2016-03-08 Felten Group Index to Structural Calculations_Building A.	KHOV00000613-628	11/09/21
E-Link	2.1.20	2016-03-08 Felten Group Index to Structural Calculations_Building B.	KHOV00000629-644	11/09/21
E-Link	2.1.21	2016-03-08 Felten Group Index to Structural Calculations_Building C.	KHOV00000645-660	11/09/21
E-Link	2.1.22	2016-03-08 Felten Group Index to Structural Calculations_Building D.	KHOV00000661-676	11/09/21
E-Link	2.1.23	2016-03-08 Felten Group Index to Structural Calculations_Unit 30-1210 Rev. 05-26-17.	KHOV00000677-727	11/09/21
E-Link	2.1.24	2016-03-08 Felten Group Index to Structural Calculations_Unit 31-1211 Rev. 05-26-17.	KHOV00000728-783	11/09/21
E-Link	2.1.25	2016-03-08 Felten Group Index to Structural Calculations_Unit 32-1212.	KHOV00000784-842	11/09/21
E-Link	2.1.26	2016-03-15 The Gallery Certificate of Special Inspection_Soils_Double SIC.	KHOV00000843	11/09/21
E-Link	2.1.27	2016-06-08 Felton Group_ Gallery Structural Set.	KHOV00000844-874	11/09/21
E-Link	2.1.28	2016-06-24 Renco Roofing Master Subcontract Agreement.	KHOV00000875-928	11/09/21
E-Link	2.1.29	2016-07-21 Chas Roberts Air Cond Work Agreement with attachments.	KHOV00000929-946	11/09/21
E-Link	2.1.30	2016-07-21 Desert Vista Inc. Work Agreement.	KHOV00000947-948	11/09/21
E-Link	2.1.31	2016-07-21 Gothic Landscape Inc Work Agreement.	KHOV00000949-952	11/09/21
E-Link	2.1.32	2016-07-21 Home Builders Site Services Work Agreement_Grading.	KHOV00000953-954	11/09/21
E-Link	2.1.33	2016-07-21 Liberty Arizona Work Agreement - Concrete Foundation & Flatwork.	KHOV00000955-961	11/09/21
E-Link	2.1.34	2016-07-21 Renco Roofing Work Agreement.	KHOV00000962-968	11/09/21
E-Link	2.1.35	2016-07-21 Sargon Masonry Construction Master Subcontract Agreement_Fence.	KHOV00000969-970	11/09/21

Prepared by:

**HARRINGTON CONSTRUCTION CO, INC.**

5/4/22 H:\CnstProj\6950-A\Binders\CaseDocIndex.xls



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	2.1.36	2016-07-21 Sargon Masonry Construction Work Agreement_Block Wall.	KHOV00000971-973	11/09/21
E-Link	2.1.37	2016-07-21 Sargon Masonry Construction Work Agreement_Stone Veneer.	KHOV00000974-982	11/09/21
E-Link	2.1.38	2016-08-02 Gallery Arch Set.	KHOV00000983-1040	11/09/21
E-Link	2.1.39	2016-08-24 City Approved_Building Set.	KHOV00001041-1168	11/09/21
E-Link	2.1.40	2016-08-24 City Approved_Fire Set.	KHOV00001169-1296	11/09/21
E-Link	2.1.41	2016-08-24 City Approved_Planning Applicant Set.	KHOV00001297-1330	11/09/21
E-Link	2.1.42	2016-08-24 City Approved_Planning Set.	KHOV00001331-1458	11/09/21
E-Link	2.1.43	2016-08-25 R_S Service and Supply Inc Work Agreement_Wrought Iron.	KHOV00001459-1460	11/09/21
E-Link	2.1.44	2016-08-26 LeBlanc Building Co Inc Work Agreement_Framing.	KHOV00001461-1492	11/09/21
E-Link	2.1.45	2016-10-26 Gallery - HOA Orientation.	KHOV00001493-1498	11/09/21
E-Link	2.1.46	2016-10-27 Gallery Improvement Plan.	KHOV00001499-1507	11/09/21
E-Link	2.1.47	2016-10-27 Sargon Masonry Construction Work Agreement_Metal Stairs.	KHOV00001508-1510	11/09/21
E-Link	2.1.48	2016-12-01 Gallery Community Assoc Key Fob Acceptance.	KHOV00001511-1511	11/09/21
E-Link	2.1.49	2017-06-01 Gallery Architectural.	KHOV00001512-1569	11/09/21
E-Link	2.1.50	2018-01-05 Letter_Scottsdale_R. Noriega to Rhino Contracting Notice of Warrantee Compliance.	KHOV00001570	11/09/21
E-Link	2.1.51	2018-10-12 FINAL WALK PHOTOS.docx.	KHOV00001571-1574	11/09/21
E-Link	2.1.52	2018-10-18 Sidewalk_pavers photo.jpg	KHOV00001575	11/09/21
E-Link	2.1.53	2019-07-03 BurgSimpson Notice of Claim.	KHOV00001576-1620	11/09/21
E-Link	2.1.54	2019-08-20 Standard Specifications_Gallery.	KHOV00001621-1652	11/09/21
E-Link	2.1.55	2019-09-09 Tender Letter K Hov to Chas Roberts AC Inc.	KHOV00001653-1655	11/09/21
E-Link	2.1.56	2019-09-09 Tender Letter K Hov to Desert Vista Inc.	KHOV00001656-1658	11/09/21
E-Link	2.1.57	2019-09-09 Tender Letter K Hov to Gothic Grounds Management, Inc.	KHOV00001659-1661	11/09/21
E-Link	2.1.58	2019-09-09 Tender Letter K Hov to Home Builders Site Services of AZ LLC.	KHOV00001662-1664	11/09/21
E-Link	2.1.59	2019-09-09 Tender Letter K Hov to Leblanc Building Co Inc.	KHOV00001665-1667	11/09/21
E-Link	2.1.60	2019-09-09 Tender Letter K Hov to Liberty Constructors LLC.	KHOV00001668-1670	11/09/21



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	2.1.61	2019-09-09 Tender Letter K Hov to Renco.	KHOV00001671-1673	11/09/21
E-Link	2.1.62	2019-09-09 Tender Letter K Hov to Sargon Masonry Construction LLC.	KHOV00001674-1676	11/09/21
E-Link	2.1.63	2019-09-10 Tender Letter K Hov to Gothic Landscaping.	KHOV00001677-1679	11/09/21
E-Link	2.1.64	2020-04-27 Sargon Masonry Repair Invoices.	KHOV00001680-1682	11/09/21
E-Link	<u>2.2</u>	<u>K. Hovnanian's 1st Supplemental Disclosures</u>		11/09/21
E-Link	2.2.1	K. Hovnanian's 1st Supplemental Disclosure statement.	20	11/09/21
E-Link	2.2.2	Peterson Geotechnical Group, Civil and Geotechnical Engineering Evaluation dated 8/10/21.	KHOV00001683-1700	11/09/21
E-Link	2.2.3	Bert L. Howe & Associates, Inc., Defense Response Report dated 8/11/21.	KHOV00001701-1721	11/09/21
E-Link	2.2.4	Bert L. Howe & Associates, Inc., Preliminary Defense Cost of Defense Scope Estimate dated 8/22/21.	12	12/09/21
Email	<u>2.3</u>	<u>K. Hovnanian's 2nd Supplemental Disclosures</u>		11/19/21
Email	2.3.1	K. Hovnanian's 2nd Supplemental Disclosure statement including Go To Services, Inc. invoices.	KHOV00001922-1925	11/19/21
Email	<u>2.4</u>	<u>K. Hovnanian's 3rd Supplemental Disclosures</u>		02/28/22
Email	2.4.1	K. Hovnanian's 3rd Supplemental Disclosure statement.	8	02/28/22
Email	2.4.2	Bert L. Howe & Associates, Inc., Defense Response Report dated 2/25/22.	KHOV00001926-1948	02/28/22
Email	2.4.3	Bert L. Howe & Associates, Inc., Preliminary Defense Cost of Repair dated 2/25/22.	KHOV00001949-1961	02/28/22
Email	2.4.4	Bert L. Howe & Associates, Inc., Subcontractor Allocation Summary dated 2/25/22.	KHOV00001961-1964	02/28/22
E-Link	2.5	Ironshore insurance policy.	KHOV00001722-1820	11/09/21
E-Link	2.6	Ironshore insurance policy.	KHOV00001821-1921	11/09/21
<b>E-Link</b>	<b>3</b>	<b>Discovery</b>		11/09/21
E-Link	<u>3.1</u>	<u>K. Hovnanian Responses</u>		11/09/21
E-Link	3.1.1	Defendant/Third-Party Plaintiff K. Hovnanian Arizona Operations, LLC Response to Plaintiff First Set of Non-Uniform Interrogatories dated 9/22/21.	6	11/09/21
E-Link	3.1.2	Defendant/Third-Party Plaintiff K. Hovnanian Arizona Operations, LLC Response to Plaintiff Request for Production dated 9/22/21.	9	11/09/21
E-Link	3.1.3	Defendant/Third-Party Plaintiff K. Hovnanian Companies of Arizona, LLC Response to Plaintiff First Set of Non-Uniform Interrogatories dated 9/20/21.	6	11/09/21
E-Link	3.1.4	Defendant/Third-Party Plaintiff K. Hovnanian Companies of Arizona, LLC Response to Plaintiff Request for Production dated 9/20/21.	7	11/09/21



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	3.1.5	Defendant/Third-Party Plaintiff K. Hovnanian Developments of Arizona, Inc. Response to Plaintiff First Set of Non-Uniform Interrogatories dated 9/22/21.	8	11/09/21
E-Link	3.1.6	Defendant/Third-Party Plaintiff K. Hovnanian Development of Arizona, Inc. Response to Plaintiff Request for Production dated 9/22/21.	7	11/09/21
E-Link	3.1.7	Defendant/Third-Party Plaintiff K. Hovnanian at Gallery, LLC Response to Plaintiff First Set of Non-Uniform Interrogatories dated 9/22/21.	10	11/09/21
E-Link	3.1.8	Defendant/Third-Party Plaintiff K. Hovnanian at Gallery, LLC Response to Plaintiff First Set of Non-Uniform Interrogatories dated 9/22/21.	8	11/09/21
Email	3.1.9	Defendant/Third-Party Plaintiff K. Hovnanian's Response to Renco Roofing's First Set of Non-Uniform Interrogatories, Requests for Production and Requests for Admission dated 11/19/21.	18	11/19/21
E-Link	3.1.10	Defendant/Third-Party Renco Roofing's First Set of Non-Uniform Interrogatories to Defendants/Third-Party Plaintiff K. Hovnanian's dated 10/5/21.	13	01/28/22
E-Link	3.1.11	Defendant/Third-Party Renco Roofing's First Set of Requests for Admission to Defendants/Third-Party Plaintiff K. Hovnanian's dated 10/5/21.	10	01/28/22
E-Link	3.1.12	Defendant/Third-Party Renco Roofing's First Set of Requests for Production of Documents to Defendants/Third-Party Plaintiff K. Hovnanian's dated 10/5/21.	11	01/28/22
E-Link	3.1.13	Plaintiff's First Set of Non-Uniform Interrogatories to Defendants/Third-Party Plaintiff K. Hovnanian's dated 7/21/21.	10	01/28/22
E-Link	3.1.14	Plaintiff's First Set of Non-Uniform Interrogatories to Defendants/Third-Party Plaintiff K. Hovnanian Arizona Operations, LLC dated 7/21/21.	8	01/28/22
E-Link	3.1.15	Plaintiff's First Set of Non-Uniform Interrogatories to Defendants/Third-Party Plaintiff K. Hovnanian Companies of Arizona, LLC dated 7/21/21.	8	01/28/22
E-Link	3.1.16	Plaintiff's First Set of Non-Uniform Interrogatories to Defendants/Third-Party Plaintiff K. Hovnanian Developments of Arizona, LLC dated 7/21/21.	8	01/28/22
E-Link	3.1.17	Plaintiff's First Set of Requests for Production to Defendants/Third-Party Plaintiff K. Hovnanian Gallery, LLC dated 7/21/21.	9	01/28/22
E-Link	3.1.18	Plaintiff's First Set of Requests for Production to Defendants/Third-Party Plaintiff K. Hovnanian Arizona Operations, LLC dated 7/21/21.	9	01/28/22



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	3.1.19	Plaintiff's First Set of Requests for Production to Defendants/Third-Party Plaintiff K. Hovnanian Companies of Arizona, LLC dated 7/21/21.	9	01/28/22
E-Link	3.1.20	Plaintiff's First Set of Requests for Production to Defendants/Third-Party Plaintiff K. Hovnanian Developments of Arizona Operations, Inc. dated 7/21/21.	9	01/28/22
E-Link	<u>3.2</u>	<u>Plaintiff Responses</u>		11/29/21
E-Link	3.2.1	Plaintiff Response to Third-Party Defendant Renco Roofing's First Set of Non-Uniform Interrogatories dated 11/24/21.	31	11/29/21
E-Link	3.2.2	Plaintiff Response to Third-Party Defendant Renco Roofing's First Set of Requests for Admission dated 11/24/21.	13	11/29/21
E-Link	3.2.3	Plaintiff Response to Third-Party Defendant Renco Roofing's First Set of Requests for Production of Documents dated 11/24/21.	12	11/29/21
E-Link	3.2.4	Third-Party Defendant Renco Roofing's First Set of Non-Uniform Interrogatories to Plaintiff Gallery Association dated 10/5/21.	12	01/28/22
E-Link	3.2.5	Third-Party Defendant Renco Roofing's First Set of Requests for Admission to Plaintiff Gallery Association dated 10/5/21.	10	01/28/22
E-Link	3.2.6	Third-Party Defendant Renco Roofing's First Set of Requests for Production of Documents to Plaintiff Gallery Association dated 10/5/21.	10	01/28/22
<b>E-Link</b>	<b>4</b>	<b>Third Party Defendant Document Production</b>		01/28/22
E-Link	<u>4.1</u>	<u>Chas Roberts Air Conditioning</u>		01/28/22
E-Link	4.1.1	Chas Roberts Initial Disclosure Statement.	23	01/28/22
E-Link	4.1.2	Chas Roberts' Work Order Screen Shots, Notice of Claim and Demand for Indemnification from K. Hovnanian's counsel, SBSA Notice of Claim Summary dated 7/2/19, Chas Roberts counsel correspondence.	CHAS 000001-53	01/28/22
E-Link	<u>4.2</u>	<u>Desert Vista, Inc.</u>		01/28/22
E-Link	4.2.1	Desert Vista Initial Disclosure Statement.	26	01/28/22
E-Link	<u>4.2.2</u>	<u>KHov - Gallery DV000001-169</u>		
E-Link	4.2.2.1	Gallery Townhomes Approved Plans	DV 000001 - 000128	01/28/22
E-Link	4.2.2.2	Gallery Address Listing	DV 000129	01/28/22
E-Link	4.2.2.3	K. Hovnanian Memorandum re Bid 5.3.2016	DV 000130 - 000131	01/28/22
E-Link	4.2.2.4	K. Hovnanian Award Memo 6.10.2016	DV 000132	01/28/22
E-Link	4.2.2.5	Final Gallery Plat Map and Vicinity Map	DV 000133- 000134	01/28/22
E-Link	4.2.2.6	K. Hovnanian Bid Prices	DV 000135 - 000137	01/28/22
E-Link	4.2.2.7	Schedule A Pricing 7.11.2016	DV 000138	01/28/22
E-Link	4.2.2.8	K. Hovnanian Gallery Standard Specifications	DV 000139 - 000167	01/28/22
E-Link	4.2.2.9	K. Hovnanian Work Agreement 7.21.2016	DV 000168 - 000169	01/28/22
E-Link	<u>4.2.3</u>	<u>Lot 001-1210A</u>		01/28/22



Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.
Desert Vista, Inc. (R&B)

Table with 5 columns: SOURCE, LOC, CONTENTS, Bates #, Received Date. Rows include various lot numbers (e.g., 001-1210A, 002-1212A) and document types (e.g., Job File, Related Documents, Plans, Invoices, Initial Repairs).



## Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
*Desert Vista, Inc. (R&B)*

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	<a href="#">4.2.19</a>	<a href="#">Lot 017-1212A Roof Deck</a>		01/28/22
E-Link	4.2.19.1	Gallery Lot 017-1212A Roof Deck Job File, Related Documents, Plans, Invoices, and Initial Repairs	DV 000888 – 000930	01/28/22
E-Link	<a href="#">4.2.20</a>	<a href="#">Lot 018-1210A</a>		01/28/22
E-Link	4.2.20.1	Gallery Lot 0018-1210A Job File, Related Documents, Plans, and Invoices	DV 000931 - 000957	01/28/22
E-Link	<a href="#">4.2.21</a>	<a href="#">West Harrington</a>		01/28/22
E-Link	4.2.21.1	West Harrington's CV and Fee Schedule	DV 000958 - 000961	01/28/22
E-Link	4.2.22	United Specialty Insurance Company, Policy Number ANT-ATL1750809, effective December 7, 2017 through December 7, 2018.	DV 000962 - 001017	01/28/22
E-Link	<a href="#">4.3</a>	<a href="#">Gothic Landscaping, Inc.</a>		01/28/22
E-Link	4.3.1	Gothic Landscaping Initial Disclosure Statement.	22	01/28/22
E-Link	<a href="#">4.4</a>	<a href="#">LeBlanc Building Co., Inc.</a>		01/28/22
E-Link	4.4.1	LeBlanc Building Initial Disclosure Statement.	18	01/28/22
E-Link	4.4.2	LeBlanc Building project file including insurance policies.	LEBLANC 000001-2300	01/28/22
E-Link	<a href="#">4.5</a>	<a href="#">Liberty Constructors</a>		01/28/22
E-Link	4.5.1	Liberty Constructors Initial Disclosure Statement.	15	01/28/22
E-Link	4.5.2	Liberty Contractors Master Subcontract Agreement, Liberty Contractors Work Agreement for The Gallery.	LIBERTY 000001-63	01/28/22
E-Link	<a href="#">4.6</a>	<a href="#">Sargon Masonry Construction, LLC</a>		01/28/22
E-Link	4.6.1	Sargon Masonry Initial Disclosure Statement.	36	01/28/22
E-Link	<a href="#">4.6.2</a>	<a href="#">Sargon Masonry Initial Disclosures</a>		01/28/22
E-Link	4.6.2.1	Sargon Masonry Construction, LLC's Answer to Defendants/Third-Party Plaintiffs K. Hovnanian at Gallery, LLC, K. Hovnanian Arizona Operations, LLC, Hovnanian Developments of Arizona, Inc., and K. Hovnanian Companies of Arizona, LLC's Third-Party Complaint.	SMC000001-12	01/28/22
E-Link	4.6.2.2	Certificates of Occupancy.	SMC000013-30	01/28/22
E-Link	4.6.2.3	Go To Services, Inc. Invoices for Repairs.	SMC000031-34	01/28/22
E-Link	4.6.2.4	Executed Master Subcontract Agreement between Sargon Masonry Construction LLC and K. Hovnanian Great Western Building Company, LLC.	SMC000035-85	01/28/22
E-Link	4.6.2.5	Demand letter.	SMC000086-94	01/28/22
E-Link	4.6.2.6	REDACTED AZ Master Vertical Contract Updated 5 5 14 signed.	SMC000095 - 145	01/28/22
E-Link	4.6.2.7	REDACTED AZ Master Vertical Contract Updated 5 28 14 signed.	SMC000146 - 196	01/28/22
E-Link	4.6.2.8	Geo - 71st and Earll 3.18.15.	SMC000197 - 233	01/28/22
E-Link	4.6.2.9	Specifications - Gallery.	SMC000234 - 261	01/28/22
E-Link	4.6.2.10	Final Plat 3.9.16.	SMC000262 - 265	01/28/22
E-Link	4.6.2.11	AZD Gallery Ext Stair Details_04282016.	SMC000266	01/28/22
E-Link	4.6.2.12	Gallery Townhomes_5.2.16.	SMC000267 - 386	01/28/22
E-Link	4.6.2.13	2016-05-02 LD & VERT SET.	SMC000387 - 403	01/28/22
E-Link	4.6.2.14	REDACTED Gallery - CMU and Fences - Sargon Masonry 5.12.16 .	SMC000404 - 406	01/28/22
E-Link	4.6.2.15	Gallery - CMU and Fences - Sargon Masonry 5.16.16.	SMC000407 - 408	01/28/22

Prepared by:

**HARRINGTON CONSTRUCTION CO, INC.**

5/4/22 H:\CnsttProj\6950-A\Binders\CaseDocIndex.xls



### Case Document Index

6950-A Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.  
Desert Vista, Inc. (R&B)

SOURCE	LOC	CONTENTS	Bates #	Received Date
E-Link	4.6.2.16	Sargon - Gallery - Fences 6.12.16.	SMC000409 - 455	01/28/22
E-Link	4.6.2.17	Gallery - Stairs 10.24.16.	SMC000509	01/28/22
E-Link	4.6.2.18	REDACTED Gallery Metal Stairs Schedule A 1.24.17.	SMC000510	01/28/22
E-Link	4.6.2.19	Invoices.	SMC000511 - 556	01/28/22
E-Link	4.6.2.20	BILLING & PAYMENT HISTORY TO-FROM KHOV.	SMC000557 - 558	01/28/22
E-Link	4.6.2.21	GALLERY EXPENSES-COSTS.	SMC000559 - 561	01/28/22
E-Link	4.6.2.22	REDACTED Gallery Master Fence Job Pack.	SMC000562 - 567	01/28/22
E-Link	4.6.2.23	REDACTED Gallery - Fence Lot 1.	SMC000568 - 573	01/28/22
E-Link	4.6.2.24	REDACTED Gallery - Fence Lot 2.	SMC000574 - 579	01/28/22
E-Link	4.6.2.25	REDACTED Gallery - Fence Lot 4.	SMC000580 - 585	01/28/22
E-Link	4.6.2.26	REDACTED Gallery - Fence Lot 5.	SMC000586 - 591	01/28/22
E-Link	4.6.2.27	REDACTED Gallery - Fence Lot 6.	SMC000592 - 597	01/28/22
E-Link	4.6.2.28	REDACTED Gallery - Fence Lot 7.	SMC000598 - 603	01/28/22
E-Link	4.6.2.29	REDACTED Gallery - Fence Lot 8 .	SMC000604 - 609	01/28/22
E-Link	4.6.2.30	REDACTED Gallery - Fence Lot 9.	SMC000610 - 615	01/28/22
E-Link	4.6.2.31	REDACTED Gallery - Fence Lot 10.	SMC000616 - 621	01/28/22
E-Link	4.6.2.32	REDACTED Gallery - Fence Lot 11.	SMC000622 - 627	01/28/22
E-Link	4.6.2.33	REDACTED Gallery - Fence Lot 12.	SMC000628 - 633	01/28/22
E-Link	4.6.2.34	REDACTED Gallery - Fence Lot 13.	SMC000634 - 639	01/28/22
E-Link	4.6.2.35	REDACTED Gallery - Fence Lot 14.	SMC000640 - 645	01/28/22
E-Link	4.6.2.36	REDACTED Gallery - Fence Lot 15.	SMC000646 - 651	01/28/22
E-Link	4.6.2.37	REDACTED Gallery - Fence Lot 16.	SMC000652 - 657	01/28/22
E-Link	4.6.2.38	REDACTED Gallery - Fence Lot 17.	SMC000658 - 663	01/28/22
E-Link	4.6.2.39	REDACTED Gallery - Fence Lot 18.	SMC000664 - 669	01/28/22
E-Link	4.6.2.40	REDACTED Gallery - MASTER STAIR WALL.	SMC000670 - 676	01/28/22
E-Link	4.6.2.41	REDACTED Gallery - STAIR WALL Lot 1.	SMC000677 - 683	01/28/22
E-Link	4.6.2.42	REDACTED Gallery - STAIR WALL Lot 2.	SMC000684 - 690	01/28/22
E-Link	4.6.2.43	REDACTED Gallery - STAIR WALL Lot 3.	SMC000691 - 697	01/28/22
E-Link	4.6.2.44	REDACTED Gallery - STAIR WALL Lot 4.	SMC000698 - 704	01/28/22
E-Link	4.6.2.45	REDACTED Gallery - STAIR WALL Lot 8.	SMC000705 - 711	01/28/22
E-Link	4.6.2.46	REDACTED Gallery - STAIR WALL Lot 9.	SMC000712 - 718	01/28/22
E-Link	4.6.2.47	REDACTED Gallery - STAIR WALL Lot 13.	SMC000719 - 725	01/28/22
E-Link	4.6.2.48	REDACTED Gallery Stone Job Pack 3.9.17.	SMC000726 - 734	01/28/22
E-Link	4.6.2.49	REDACTED New Gallery Stone Job Pack 7.21.17.	SMC000735 - 747	01/28/22
E-Link	4.6.2.50	REDACTED Gallery Stone Lot 2.	SMC000748 - 759	01/28/22
E-Link	4.6.2.51	REDACTED Gallery Stone Lot 5.	SMC000760 - 771	01/28/22
E-Link	4.6.2.52	REDACTED Gallery Stone Lot 6.	SMC000772 - 785	01/28/22
E-Link	4.6.2.53	REDACTED Gallery Stone Lot 7.	SMC000786 - 798	01/28/22
E-Link	4.6.2.54	REDACTED Gallery Stone Lot 10.	SMC000799 - 807	01/28/22
E-Link	4.6.2.55	REDACTED Gallery Stone Lot 11.	SMC000808 - 816	01/28/22
E-Link	4.6.2.56	REDACTED Gallery Stone Lot 12.	SMC000817 - 825	01/28/22
E-Link	4.6.2.57	REDACTED Gallery Stone Lot 15.	SMC000826 - 834	01/28/22
E-Link	4.6.2.58	REDACTED Gallery Stone Lot 16.	SMC000835 - 843	01/28/22
E-Link	4.6.2.59	REDACTED Gallery Stone Lot 17.	SMC000844 - 853	01/28/22

# EXHIBIT B



# GALLERY COMMUNITY ASSOCIATION V. K. HOVNANIAN AT GALLERY, INC., ET. AL.

*Scottsdale, AZ  
Desert Vista, Inc. (HCCI# 6950-A)*

## HCCI INVESTIGATION & PRELIMINARY REPORT

JANUARY 31, 2022



Prepared for:

Shannon Huff, Esq. and Mohamad H. Tokko, Esq.  
**Rai & Barone, P.C.**  
3033 N. Central Avenue, Suite 500  
Phoenix, AZ 85012

Prepared by:

West Harrington  
**Harrington Construction Co., Inc.**

10470 FOOTHILL BLVD, SUITE 230 • RANCHO CUCAMONGA, CALIFORNIA 91730 • (909) 861-5452 • (800) 977-8288  
FAX (909) 861-2871 • EMAIL [hcci@hccigroup.com](mailto:hcci@hccigroup.com) • [www.hccigroup.com](http://www.hccigroup.com)  
ARIZONA LICENSE NO. 320129 • CALIFORNIA LICENSE NO. 463572 • AURORA, CO LICENSE NO. 2014 883838 00 CL  
NEVADA LICENSE NO. 50832 • WASHINGTON LICENSE NO. CC HARRICC889CW DV 001018



# GALLERY COMMUNITY ASSOCIATION V. K. HOVNANIAN AT GALLERY, INC., ET. AL.

*Scottsdale, AZ  
Desert Vista, Inc. (HCCI# 6950-A)*

## TABLE OF CONTENTS

### *HCCI INVESTIGATION & PRELIMINARY REPORT*

I.	INTRODUCTION .....	3
II.	INVESTIGATION PROCESS .....	5
III.	HCCI ANALYSIS OF ALLEGED ARCHITECTURAL ISSUES.....	7
IV.	HCCI COST ESTIMATE DEVELOPMENT .....	52

### *HCCI APPENDICES*

APPENDIX I– PROJECT SITE ASSESSMENT .....	53
---	----

### *HCCI EXHIBITS*

EXHIBIT #1 – ASTM 2128 EXCERPT .....	60
EXHIBIT #2 – RAINFALL DATA.....	62
EXHIBIT #3 – U.S. BUREAU OF LABOR STATISTICS WAGE DATA .....	66
EXHIBIT #4 – WEST HARRINGTON CURRICULUM VITAE .....	86
EXHIBIT #5 – HCCI SCHEDULE OF RATES .....	90
EXHIBIT #6 –WEST HARRINGTON TESTIMONY MATRICES.....	92



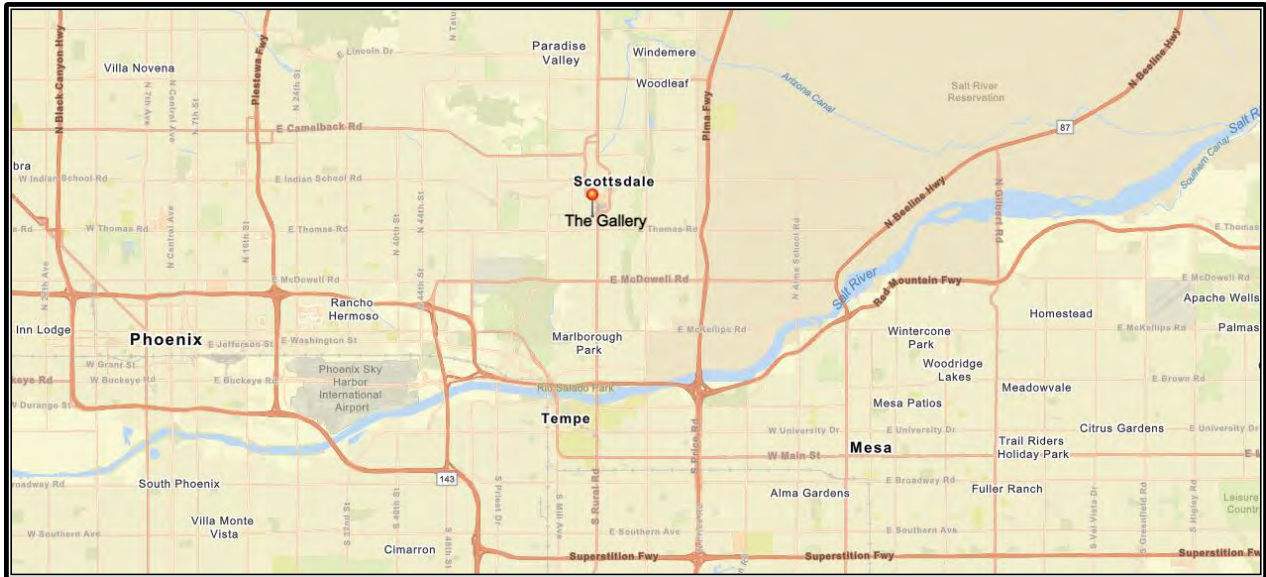
## Investigation and Preliminary Report:

# GALLERY CONDOMINIUM ASSOCIATION V. K. HOVNANIAN AT GALLERY, LLC, ET AL.

DESERT VISTA, INC.

## I. Introduction

The subject project, which was constructed from 2016-2018 under the 2012 IRC, is a residential community located at 3125 N. 71<sup>st</sup> Street in Scottsdale, Arizona, less than 10 miles northeast of Phoenix Sky Harbor International Airport.



*Area map of project location*

The Gallery Townhomes development is comprised of four three-story buildings, three five-unit buildings and one three-unit building for a total of 18 units. Buildings are wood-frame construction with exterior stucco system and flat roof.



## I. Introduction (Cont.)

Harrington Construction Co., Inc. (“HCCI”) was retained on behalf of Desert Vista, Inc. (“Desert Vista”) to analyze and evaluate the allegations and to provide a cost to repair where indicated. Desert Vista was contracted to install the stucco system on this project.

As of this date, no party has allocated specific defects to Desert Vista. HCCI has responded to those items which are typically attributed to the stucco contractor.

All the opinions expressed herein have been determined with a reasonable degree of scientific certainty. HCCI reserves the right to modify and/or supplement this report as new information becomes available.



## II. HCCI Investigation Process

HCCI investigation has included, but has not been limited to, the following components:

1. Visual inspections conducted on November 12, 2021.
2. Review of the following documents:
  - A. *Complaint & Jury Demand*, dated July 27, 2020.
  - B. *Third-Party Complaint*, dated October 6, 2020.
  - C. *LeBlanc Building Co., Inc.'s Initial Disclosure Statement*, dated April 9, 2021.
  - D. *Sargon Masonry Construction, LLC's Initial Disclosure Statement*, dated May 24, 2021.
  - E. *Plaintiff's Initial Disclosure Statement*, dated June 4, 2021.
  - F. *Liberty Constructors' Initial Disclosure Statement*, dated June 4, 2021.
  - G. *Chas Roberts Air Conditioning, Inc.'s Initial Disclosure Statement*, dated June 4, 2021.
  - H. *Gothic Landscaping, Inc.'s Initial Disclosure Statement*, dated June 4, 2021.
  - I. *Defendants'/Third Party Plaintiff's Initial Disclosure Statement*, dated June 16, 2021.
  - J. *Plaintiff's 1<sup>st</sup> Supplemental Disclosure Statement*, dated June 23, 2021.
  - K. SBSA, LLC, *Construction and Design Compliance Report*, dated June 23, 2021.
  - L. SBSA, LLC, *Civil Repair Drawings*.
  - M. SBSA, LLC, *Defect Matrix*.
  - N. SBSA, LLC, observation photographs.
  - O. SBSA, LLC, *Technical Memorandum*, dated July 22, 2021.
  - P. *Plaintiff's 2<sup>nd</sup> Supplemental Disclosure Statement*, dated July 23, 2021.
  - Q. Nautilus General Contractor, Inc., *Estimate of Costs*, dated July 23, 2021.



## II. HCCI Investigation Process (Cont.)

2. Review of the following documents (Cont.):
  - R. *Plaintiff's 3<sup>rd</sup> Supplemental Disclosure Statement*, dated August 5, 2021.
  - S. Bert L. Howe & Associates, Inc., *Preliminary Defense Cost of Defense Scope Estimate*, dated August 8, 2021.
  - T. Peterson Geotechnical Group, *Civil and Geotechnical Engineering Evaluation*, dated August 10, 2021.
  - U. *Defendants'/Third Party Plaintiff's 1<sup>st</sup> Supplemental Disclosure Statement*, dated August 11, 2021.
  - V. Bert L. Howe & Associates, Inc., *Defense Response Report*, dated August 11, 2021.
  - W. Nautilus General Contractor, Inc., observation photographs.
  - X. *Plaintiff's 4<sup>th</sup> Supplemental Disclosure Statement*, dated August 18, 2021.
  - Y. *Defendants'/Third Party Plaintiff's 2<sup>nd</sup> Supplemental Disclosure Statement*, dated August 19, 2021.
  - Z. *Plaintiff's 5<sup>th</sup> Supplemental Disclosure Statement*, dated August 25, 2021.
  - AA. Nautilus General Contractor, Inc., temporary repair photographs.
  - BB. *Plaintiff's 6<sup>th</sup> Supplemental Disclosure Statement*, dated September 9, 2021.
  - CC. *Plaintiff's 7<sup>th</sup> Supplemental Disclosure Statement*, dated October 4, 2021.
  - DD. *Plaintiff's 8<sup>th</sup> Supplemental Disclosure Statement*, dated October 15, 2021.
  - EE. SBSA, LLC, *Supplemental Construction and Design Compliance Report*, dated October 14, 2021.
  - FF. *Plaintiff's 9<sup>th</sup> Supplemental Disclosure Statement*, dated October 20, 2021.
  - GG. *Desert Vista, Inc.'s Answer to Third-Party Complaint*, dated October 25, 2021.
  - HH. *Plaintiff's 10<sup>th</sup> Supplemental Disclosure Statement*, dated November 11, 2021.
  - II. Nautilus General Contractor, Inc., *Revised Preliminary Estimate of Costs*, dated November 11, 2021.



## II. HCCI Investigation Process (Cont.)

2. Review of the following documents (Cont.):

JJ. *Desert Vista, Inc.'s Initial Disclosure Statement*, dated November 23, 2021.

KK. *Plaintiff's 11<sup>th</sup> Supplemental Disclosure Statement*, dated December 27, 2021.

LL. *Plaintiff's 12<sup>th</sup> Supplemental Disclosure Statement*, dated January 6, 2022.

MM. *Renco, LLC dba Renco Roofing Initial Disclosure Statement*, dated June 4, 2021.

NN. Plaintiff Responses to Renco Roofing's Discovery.

OO. K. Hovnanian Arizona Operations LLC's Responses to Plaintiff's Discovery.

PP. K. Hovnanian Arizona Operations LLC's Responses to Renco Roofing's Discovery.

QQ. Desert Vista, Inc., *Work Agreement*, dated July 21, 2016.

RR. Desert Vista, Inc., *Master Subcontract Agreement*, dated March 2, 2010.

SS. *Unit Owner Photographs*.

TT. *City Approved project plans*.

3. Review of the following industry standards:

A. 2012 IRC

B. McGraw-Hill Construction Databook

C. RS Means Residential & Light Commercial Construction Standards

D. NAHB Residential Construction Performance Guidelines

E. David Kent Ballast Handbook of Construction Tolerances

F. 2009 AROC Workmanship Standards for Licensed Contractors



### III. HCCI Analysis of Alleged Architectural Defects

#### Defect C.1.0 A – Missing weep mechanism in stucco.

##### **SBSA Description:**

Installation of a weep mechanism or drip edge at horizontal terminations of the stucco at locations where the stucco application is continued onto a horizontal surface, such as a soffit, is required by industry standards. The weep mechanism allows water within the cladding system to exit to the exterior as required by code, and the drip edge component is to allow the water to break from the surface adhesion and fall away from the structure. Sealing, blocking, omitting, or failing to integrate the weep mechanism results in moisture accumulating behind the cladding, promoting the continuous and progressive deterioration of the underlying water-sensitive building components, including the stucco. Generally, the outward signs due to the entrapped water result in stucco cracks and beneath the products result in damages to the interstitial spaces, including rusted fasteners and stained and/ or deteriorated sheathing. All horizontal terminations of the stucco system should incorporate a weep mechanism that is properly integrated with the WRB so that water can travel down the drainage plane and drain to the exterior. Therefore, weep mechanisms are an essential component of the moisture-management system.

The architectural details specify base flashing with weep holes at stucco to window and door head interfaces and reference the stucco manufacturer. The stucco manufacturer requires a weep screed at base of walls, windows, doors, and roofs. The architectural details also specify a minimum 1/4-inch clearance at the stucco soffit to stucco siding interface, with a drainage strip installed per the stucco manufacturer. The architect specified the soffit WRB to be turned up and lapped 6-inches under the wall WRB. Stucco installation details provided in the ESR-3529 require a 1-3/8-inch weep screed shingle-lapped with the wall WRB at foam and solid substrates and 1/2-inch J-weep screed with a solid substrate at roofs. The applicable building codes specify using a 0.019-inch, corrosion-resistant weep screed with a minimum 3-1/2-inch vertical attachment flange shingle-lapped with the WRB to allow drainage of water to the building exterior.

At the Gallery site, the weep casing beads were missing at fenestration heads, stucco roof pop-outs, and soffit terminations, which violates the architectural drawings, the stucco manufacturer requirements, and the building code requirements. This non-compliant condition creates a system which does not drain moisture to the exterior as required by the architectural drawings and stucco manufacturer requirements. Manifestation of resultant damages included stucco cracks, rusted fasteners, deteriorated WRB and stains at sheathing. Weep mechanisms were installed at stucco terminations to roofs, decks, and foundations, indicating the contractor was cognizant of installing weep mechanisms at horizontal terminations in stucco.



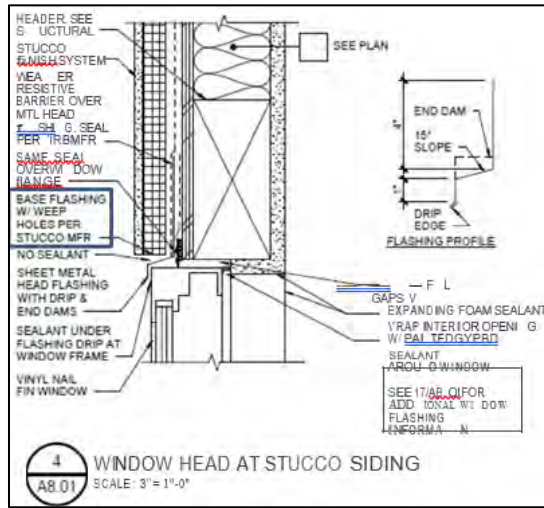
**Defect C.1.0 A (Cont.) – Missing weep mechanism in stucco.**

**SBSA Description (Cont.):**

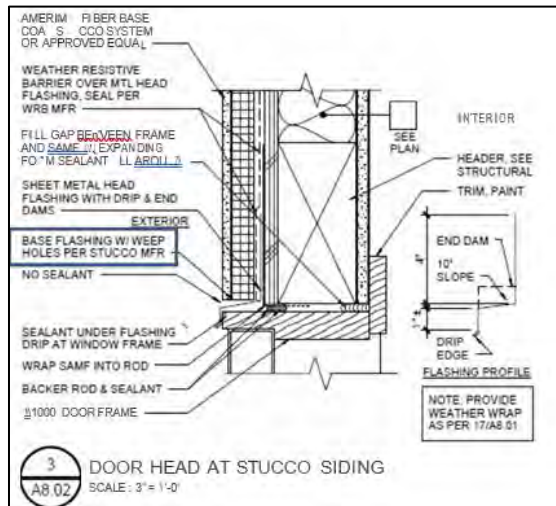
Where weep mechanisms in stucco are missing, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.

**SBSA Standards:**

Otak Inc. “K. Hovnanian Homes, Gallery Townhomes,” revised date August 2, 2016, Sheet A8.01 “Exterior Details,” “4/A8.01 Window Head at Stucco Siding”



Otak Inc. “K. Hovnanian Homes, Gallery Townhomes,” revised date August 2, 2016, Sheet A8.02 “Exterior Details,” “3/A8.02 Door Head at Stucco Siding”

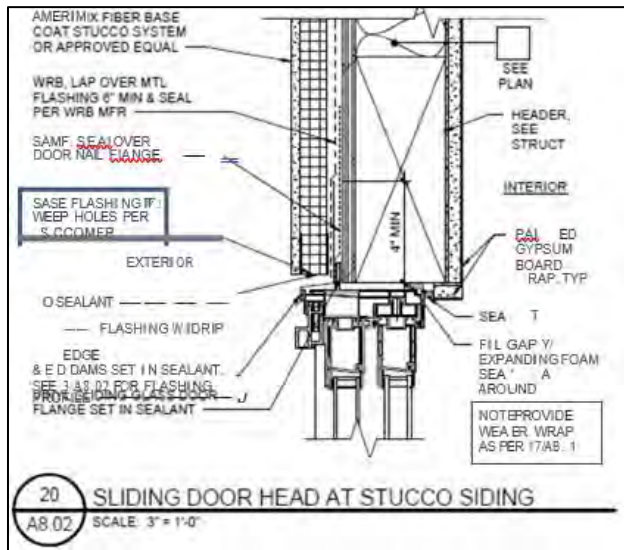




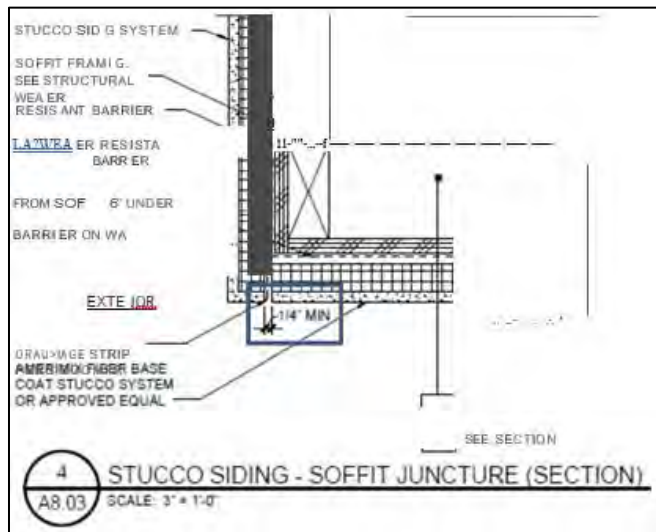
**Defect C.1.0 A (Cont.) – Missing weep mechanism in stucco.**

**SBSA Standards (Cont.):**

Otak Inc. “K. Hovnanian Homes, Gallery Townhomes,” revised date August 2, 2016, Sheet A8.02 “Exterior Details,” “20/A8.02 SGD Head at Stucco Siding”



Otak Inc. “K. Hovnanian Homes, Gallery Townhomes,” revised date August 2, 2016, Sheet A8.03 “Exterior Details,” “4/A8.03 Stucco Siding – Soffit Juncture”





**Defect C.1.0 A (Cont.) – Missing weep mechanism in stucco.**

**SBSA Standards (Cont.):** ICC Evaluation Service Report (ESR), Evaluation Report ESR-3529 "Evaluation Subject: Amerimix Fiber Base Coat Stucco," reissued February 2017.

**SBSA Locations:** Weep mechanisms are missing at all soffit, fenestration head, and stucco termination to stucco pop-out box locations across the Gallery site. Refer to the attached Observation Drawings and Defect Matrix for locations and details of findings.

**SBSA Repair Recommendations:**

- Coordinate with replacement of the WRB and the stucco system as described in Sections C.1.b and C.1.c of SBSA's report.
- Install new weep mechanisms at the following horizontal terminations.
- At window heads, slider door heads, swing door heads, and garage door heads, terminate the weep casing bead 1/ 4-inch above sheet metal head flashing.
- At soffits, install weeps per the architectural Detail 4/ AS.03 and manufacturer's requirements.
- Shingle-lap \1\WRB with new weep mechanisms.
- Coordinate repair with related stucco and underlying moisture-management repair recommendations as well as all adjacent civil repair recommendations.

**SBSA COR:** \$33,862.76

**BHA Analysis & Repair Recommendations:**

SBSA asserts stucco weep mechanisms were omitted at fenestration heads, stucco pop-outs, and at stuccoed soffits. An analysis of SBSA's exemplar photos show SBSA is grouping two different conditions together, missing weep mechanisms at window heads and missing weep mechanisms at wall-to-soffit transitions. SBSA cites construction plan details to support its claim.

BHA was present for SBSA's destructive testing and observed several locations where SBSA removed stucco at window heads. The windows at this project were manufactured by MI Windows and Doors ("MI"). All the window heads exposed by SBSA were flashed according to MI installation guidelines. BHA examined the flashing and WRB tested by SBSA and did not observe any evidence of non-performance. SBSA has not provided any evidence to support this claim other than asserting the construction drawings specified it.



**Defect C.1.0 A – Missing weep mechanism in stucco. (Cont.)**

**BHA Analysis & Repair Recommendations (Cont.):**

BHA maintains that a deviation from the drawings is not, in and of itself, a defect. The project architect clearly states in the "Method of Construction" section of the General Structural Notes:

*"The contractor shall be solely responsible for construction means, methods, technique, sequences, and procedure."*

The intent of the architect's design is to integrate the stucco system around the window to not allow water to collect on the window head and damage the WRB. SBSA's invasive testing of the window showed the as-constructed condition is meeting the architect's intent and has performed and can be expected to continue to perform. No repairs are needed at the window heads.

As part of SBSA's destructive testing protocol, stucco was removed at several wall-to-soffit transitions. BHA observed some locations with clear evidence the lack of a weep mechanism at the soffit has allowed moisture to accumulate behind the stucco system and deteriorate the WRB. While not every wall-to-soffit transition exhibited signs of water damage, the condition is problematic and should be repaired. At large wall-to-soffit locations, remove a 12-inch strip of stucco from the wall and soffit and install weeps integrated with WRB before restoring the stucco system. The repairs should be painted to match the adjacent finishes.

**BHA Cost:** \$43,496.35

---

**HCCI Response to Defect Allegation:**

HCCI observed instances of missing weep mechanisms at the inspections we attended and during our extensive review of plaintiff and developer photographs **(Photo #1)**.



**Defect C.1.0 A – Missing weep mechanism in stucco. (Cont.)**

**HCCI Response to Defect Allegation (Cont.):**



**Photo #1 (Pltff Photo Disc IT6 Photo 280): Window head exposed during DT.**

SBSA has asserted that weep mechanisms prescribed in the project drawings were omitted at fenestration heads, pop-outs and soffits.

Fenestration Heads:

The manner in which Desert Vista terminated their plaster system around windows is consistent with the predominant custom and practice in the Greater Phoenix region. In fact, the windows are specifically manufactured to receive the stucco system *without* additional weeping mechanisms.

The as-built condition is consistent with regional practices and is performing as intended. No modification to the window assemblies associated with Desert Vista's work is required.



**Defect C.1.0 A – Missing weep mechanism in stucco. (Cont.)**

**HCCI Response to Defect Allegation (Cont.):**

Pop-Outs and Soffits:

During SBSA’s destructive testing, stucco was removed at a number of wall-to-soffit transitions. At some of these locations, there was evidence of water intrusion (**Photo #2**).



**Photo #2 (Pltff Photo Disc ITS Photo 73): Minor staining at exposed framing.**

The degree to which this condition exists has not led to anything more than “incidental” water as defined by **ASTM 2128** (page 1, section 3.2.1)<sup>1</sup>:

*“Incidental water [is] unplanned water infiltration that penetrates beyond the primary barrier and the flashing or secondary barrier system, of such limited volume that it can escape or evaporate without causing adverse consequences.”*

It is HCCI’s opinion that there is only minimal evidence of water intrusion at the wall to soffit intersections. However, the absence of a weep mechanism may result in damage over the life of the building. Accordingly, HCCI has recommends the installation of a weep mechanism at the large wall to soffit locations. HCCI has independently evaluated the developer expert’s scope and cost of \$59,579.47 associated with this issue and has determined that it is an appropriate scope and cost to repair for this issue.

<sup>1</sup> ASTM 2128 Excerpt



**Defect C.1.0 B - Non-complaint WRB for stucco system.**

**SBSA Description:**

The building code, manufacturer specifications, and industry standards require a complete and compliant WRB behind moisture-managed claddings. The architectural drawings specify installation of WRB per section 2510.6 of the IBC. The stucco manufacturer's product evaluation report ESR-3529 specifies installation of WRB per the applicable building codes.

The applicable codes and the ESR-3529 require the WRB with a performance equivalent to two layers of Grade D paper, such that each layer provides a separate continuous plane. An exception to the above stated requirements is if the WRB applied over solid sheathing has a water resistance equal to or greater than that of 60-minute Grade D paper and is separated from the stucco by an intervening, substantially non water-absorbing layer or drainage space.

Intrusive examination revealed that a single layer of WRB was generally installed over open stud framing and solid sheathing. Occasionally, two layers of WRB over framing were identified to have been used. The WRB used at the Gallery site was labeled GMCraft-10 324, Type 1, Grade D, Style 2, ESR 2376. The label indicates that the WRB product used throughout the site is an asphalt-saturated type D building paper that has a nominal finish weight of 3.5-pounds-per-100-square-foot and designed to resist water intrusion for a minimum of 10-minutes when tested according to ASTM D-779. The nominal weight for a number 15 asphalt felt is generally between 7.5- to 12.5- pounds-per-100-square-foot (psf). The WRB manufacturer's product specifications state the GMCraft-10 exceeds 20-minutes of water resistance but does not meet the 60- minute requirement required by the building code and the stucco manufacturer. As constructed, the applied WRB does not meet the nominal weight, the number of required layers, the water resistance requirements of the applicable building code, and the ESR-3529 report for the Amerimix stucco system specified on the architectural drawings. This deficiency in material properties and number of WRB layers impairs the functionality of the stucco system as required in the building codes and the stucco manufacturer's product specifications.

Haphazardly installed and closely spaced staple and fastener holes facilitate the water intrusion, causing damage and increasing future additional damage. Full-length rusted fasteners and stains on framing indicate damage due to water intrusion where the non-compliant WRB was installed behind stucco. Failure of the moisture management system along with the combination of other construction defects as discussed in this report will continue to direct water onto moisture-sensitive building components.



**Defect C.1.0 B (Cont.) - Non-complaint WRB for stucco system.**

**SBSA Description (Cont.):**

Where non-compliant WRB for stucco system exists, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.

**SBSA Standards:**

Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A1.01 "Construction Assemblies," states the following: *"IBC 1405.10.1.1 WATER RESISTIVE BARRIERS - Water-Resistive Barriers Shall Be Installed As Required In Section 2510.6"*

ICC Evaluation Service Report (ESR), "Evaluation Report ESR-3529 "Evaluation Subject: Amerimix Fiber Base Coat Stucco," reissued February 2017, Section 3.0, subsection 3.2.

International Code Council, Inc. (ICC), "International Residential Code (IRC)," 2012, Chapter 7 "Wall Covering," Section R703 "Exterior Covering," Subsection R703.6.

International Code Council, Inc. (ICC), "International Building Code (IBC)," 2012, Chapter 25 "Gypsum Board and Plaster," Section 2510.

International Code Council, Inc. (ICC), "International Residential Code (IRC)," 2012, Chapter 7 "Wall Covering," Section R703.

GMC Roofing & Building Paper Products, Inc. (GMC), "GMCraft 10 Minute Weather Resistive Barrier, Product Data," June 2020.

ICC Evaluation Service Report (ESR), "Evaluation Subject: GMCraft 10 Minute, GMCraft 30 Minute, and GMCraft 60 Minute Water-Resistive Barriers, ESR-2376," reissued May 2019.



**Defect C.1.0 B (Cont.) - Non-complaint WRB for stucco system.**

**SBSA Locations:** Non-compliant WRB for the stucco system exists at all locations where stucco is applied across the Gallery site. Refer to the attached Observation Drawings and Defect Matrix for locations and details of findings.

**SBSA Repair Recommendations:**

- Full removal and replacement of the stucco and the exterior insulation is required to address the non-compliant installation of the WRB for the existing stucco system. Remove existing WRB to perform following repairs.
- Install missing exterior sheathing and straps, as necessary, per the LFRS repairs recommended in Section A.2 of SBSA's report.
- Install sheet metal flashings per Section C.2.a of SBSA's report.
- Ensure that the WRB above is shingle-lapped with the sheet metal flashing.
- Install new WRB per the requirements of ESR-3529 for the existing stucco system.
  - Repair contractor to estimate using between two layers of Grade D kraft building paper or one layer of Grade D kraft paper with minimum water-resistance rating of 60-minutes or using Tyvek products such as Stucco Wrap or Drain Wrap as specified in Section 3.2.4 and Section 3.2.1 0 of ESR-3529.
- Ensure all WRB terminations shingle-lap with all surrounding rigid and flexible flashings, weeps, and accessories.
- Install EPS foam boards per repairs recommended in Section C.1.c of SBSA's report.
- Install new stucco system to comply with the current requirements of ESR-2359.
- Install lath per the stucco manufacturer and ASTM C1 063.
- Install control joints at fenestration comers, floor lines, top plate/truss lines, and within the field of the wall to comply with ASTM C1 063 and the stucco manufacturer.
- Install weep casing beads with 3-1/2-inch vertical legs at all stucco terminations Ensure that the WRB shingle-laps with the new weep casing beads.
- Coordinate with adjacent repairs, including underlying moisture-management and stucco repair recommendations.

**SBSA COR:** \$1,276,075.15



**Defect C.1.0 B - Non-complaint WRB for stucco system. (Cont.)**

**BHA Defense Response & Repair Recommendations:**

As part of SBSA's destructive testing protocol, the stucco system was removed at several locations and the water restive barrier ("WRB") was observed. SBSA observed some locations where one layer of WRB covered the solid OSB shear panel. SBSA asserts two-layers of WRB are required over OSB sheathing or if one layer is used, it must meet the water resistance requirements of the applicable building code and ESR-3529 report. BHA observed SBSA's destructive testing of the stucco and documented the appropriate WRB was installed over open framing which makes up most of the wall construction. At serval locations multiple layers of WRB was installed. BHA also noted, at some locations, a single layer of WRB covered strips of OSB sheathing installed at floor-to-floor transitions. BHA observed, at those locations, the OSB did not run the full height of the wall. BHA examined the WRB and OSB at every location exposed and noted none of the OSB and WRB had any stains or other evidence of water damage. SBSA is alleging a technical deficiency at a few locations is a defect that requires the removal and replacement of the entire stucco system at every building. SBSA has not provided any evidence to support its claim that the:

*"deficiency in material properties and number of WRB layers impairs the functionality of the stucco system as required in the building codes and the stucco manufacturer's product specifications".*

Except for the wall-to-soffit areas discussed above, the WRB installed at this project is performing. No defect exists and no repairs needed.

BHA strongly disagrees with SBSA's repair protocol. SBSA's repair to remove all the stucco, lath, EPS foam, and WRB at every building and then install new WRB and new stucco system is excessive and unnecessary. However, if the trier of fact determines a widespread repair is needed, all windows and stucco penetrations can be sealed, and the entire existing stucco exterior can be painted with a quality elastomeric paint. This much more reasonable and appropriate repair will create a weatherproof barrier on the exterior of the stucco and address all of SBSA's stucco and fenestration allegations. BHA estimates it will cost less than \$100,000 total to perform this repair at all the buildings.

**BHA COR:** \$0.00

**HCCI Response to Defect Allegation:**

HCCI observed evidence of the use of a single layer of WRB during our extensive review of plaintiff and developer photographs (**Photo #3**).



**Defect C.1.0 B (Cont.) - Non-complaint WRB for stucco system.**

**HCCI Response to Defect Allegation (Cont.):**



**Photo #3 (Pltff Photo Disc ITS Photo 178): One layer of WRB over sheathing.**

SBSA has asserted that the weather resistive barrier (“WRB”) does not meet the applicable codes and the ESR-3529 for the Amerimix Fiber Base Coat Stucco system utilized on the project.

During SBSA’s destructive testing, stucco was removed at a number of locations and the WRB was inspected. At some locations, there was a single layer of WRB over OSB shear panel. While HCCI agrees that the building code and ESR-3529 prescribe either two-layers of WRB (or 60-minute Grade D paper separated from the stucco by an intervening non-water-absorbing layer or drainage space) there is no evidence that the as-built condition is not performing as intended.

According to the Western Regional Climate Center ([www.wrcc.dri.edu](http://www.wrcc.dri.edu)), the region near Phoenix, Arizona’s average annual rainfall of 7.32 inches<sup>2</sup>. The very minor levels of precipitation in the Greater Phoenix region do not significantly challenge the stucco system components.

<sup>2</sup> Western Regional Climate Center Rainfall Data



**Defect C.1.0 B (Cont.) - Non-complaint WRB for stucco system.**

**HCCI Response to Defect Allegation (Cont.):**

The degree to which this condition exists has not led to anything more than “incidental” water as defined by **ASTM 2128** (page 1, section 3.2.1):

*“Incidental water [is] unplanned water infiltration that penetrates beyond the primary barrier and the flashing or secondary barrier system, of such limited volume that it can escape or evaporate without causing adverse consequences.”*

The as-built condition is performing as intended. No repairs are required.

Alternatively, if it is determined that the WRB is in fact allowing water intrusion that results in damage to building components, HCCI recommends the application of an elastomeric paint/coating on weather exposed surfaces. HCCI has performed a Rough Order of Magnitude estimate for this scope of work and has determined that the approximate value is \$100,000.00.



**Defect C.1.0 C (Cont.) – Non-compliant EPS foam board for stucco system.**

**SBSA Description:**

The architectural drawings and builder's specifications both specify Amerimix stucco system installed over a 1-inch-thick rigid foam substrate. The architectural drawings and the manufacturer's product specification both refer to ESR-3529. Where the stucco system is installed over open stud framing, the ESR-3529 requires a minimum 1-inch thick EPS foam plastic insulation board with 3/8-inch projecting tongues and compatible grooves for horizontal joints. Where installed over solids substrates such as OSB sheathing, the ESR-3529 requires a minimum 1/2-inch-thick EPS foam plastic insulation board with vertical grooves on the back face (interior side) of the boards. The grooves are required to be a minimum 1/4-inch wide by 1/8-inch deep spaced a maximum of 12-inches to allow efficient drainage of moisture between the EPS foam boards and the WRB. As an alternative to EPS foam boards with vertical grooves, ESR-3529 allows using flat-faced EPS foam boards if Tyvek StuccoWrap® or Tyvek DrainWrap® WRB is installed over the solid substrate.

Intrusive examination revealed that the foam board used at the Gallery site was generally 3/8- to 7/8-inch thick, did not have the required vertical grooves, and was installed tight to the improperly selected WRB. The GMCraft-10 WRB was installed at all buildings and is not recognized by ESR-3529 for application of flat-faced foam boards without vertical grooves. Flat-faced foam boards installed tight to the WRB are non-compliant with the project requirements, prevent a bond break or drainage gap between the stucco system and the WRB, and obstruct drainage of the moisture behind the stucco. Use of non-compliant EPS foam boards in combination with the non compliant WRB type reduces the overall performance of the moisture-management system. Damage included stains on the interior face of the EPS foam boards and full length rusted fasteners where entrapped water overwhelmed the moisture management system. This non-compliant condition, along with the combination of other construction defects of the stucco system, will more likely than not reduce the integrity of the structural components and the general appearance of the cladding in the foreseeable future.

Where non-compliant EPS foam board exists, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.

**SBSA Standards:**

ICC Evaluation Service Report (ESR), Evaluation Report ESR-3529 "Evaluation Subject: Amerimix Fiber Base Coat Stucco," reissued February 2017, Section 3.0.



**Defect C.1.0 C (Cont.) – Non-compliant EPS foam board for stucco system.**

**SBSA Standards (Cont.):** ICC Evaluation Service Report (ESR), Evaluation Report ESR-3529 "Evaluation Subject: Amerimix Fiber Base Coat Stucco," reissued February 2017, Section 4.0.

**SBSA Locations:** Non-compliant EPS foam board installation for stucco exists at locations where stucco is applied over solid substrates across the Gallery site. Refer to the attached Observation Drawings and Defect Matrix for locations and details of findings.

**SBSA Repair Recommendations:**

- Full removal and replacement of the stucco is required to address the non-compliant installation of the EPS foam board for the existing stucco system.
- Where installed over solid substrates, remove existing EPS foam board to perform the following repairs. Also refer to other stucco repairs in this report.
- Ensure all EPS foam boards have 3/8-inch projecting tongues with compatible grooves at horizontal joints.
- At solid substrates, install new minimum 1/2-inch-thick EPS foam board with vertical grooves spaced at a maximum 12-inches on-center on the back face of the boards. The vertical grooves should be a minimum 1/4-inch wide by 1/8-inch deep as required by ESR-3529.
- As an alternative to EPS foam boards with vertical grooves, flat-faced EPS foam boards may be installed over the solid substrates provided the WRB recommended in Section 3.2.4 of ESR-3529 is used.
- Coordinate with adjacent repairs, including underlying moisture-management and stucco repair recommendations.
- Where EPS foam board repairs are necessary at open stud framing, use minimum 1-inch-thick EPS boards installed in compliance with ESR-3529.

**SBSA COR:** Included in 1.0B.

---

**BHA Defense Response & Repair Recommendations:**

SBSA asserts the stucco manufacturer, Amerimix, required EPS foam with vertical grooves be used where the stucco was applied over solid OSB sheathing. SBSA further alleges:

*"This non-compliant condition, along with the combination of other construction defects of the stucco system, will more likely than not reduce the integrity of the structural components and the general appearance of the cladding in the foreseeable future."*



**Defect C.1.0 C (Cont.) – Non-compliant EPS foam board for stucco system.**

**BHA Defense Response & Repair Recommendations (Cont.):**

BHA documented the condition of the EPS foam and WRB at every location SBSA tested and did not observe any damage that would suggest the lack of grooves in EPS foam over short sections of OSB was not performing as well as the EPS foam on the rest of the wall. A technical deficiency, in and of itself, is not a defect. The EPS installed at this project is performing as intended. No defect exists. No repairs needed.

**BHA COR:** \$0.00

**HCCI Response to Defect Allegation:**

HCCI observed instances of non-compliant EPS foam board during our extensive review of the available plaintiff and developer photographs (**Photo #4**).



**Photo #4 (Pltff Photo Disc IT7 Photo 279): EPS foam board exposed during DT.**



**Defect C.1.0 C (Cont.) – Non-compliant EPS foam board for stucco system.**

**HCCI Response to Defect Allegation (Cont.):**

SBSA has asserted that the EPS foam board does comply with the requirements of ICC-ES report ESR-3529 for the Amerimix Fiber Base Coat Stucco system utilized on the project.

HCCI did not observe any damage associated with the as-built condition where SBSA exposed the EPS foam.

The as-built condition is performing as intended. No repairs are required.



**Defect C.1.0 D – Non-compliant slope of horizontal stucco surfaces.**

**SBSA Description:**

Stucco is water-resistant, not waterproof, and is expected to be permeated by water. Horizontal stucco surfaces with little or no slope can pond or hold water. Water penetrates into the assembly, resulting in damage to the sheathing and other moisture sensitive building products. To reduce the water migration into the moisture-managed system, stucco is required to slope and be waterproofed below in order to effectively shed water off its surface and away from the substrate.

Stucco roof parapet caps, roof pop-out boxes, and pop-out boxes at front and rear elevations with inadequate slope are present at locations across all buildings. The architectural elevations locate stucco pop-out boxes between the garage and first floor level for unit types 30-1210 and 31-1211. For unit type 32-1212, the stucco pop-out boxes are located between the first floor and second floor levels. The architectural drawings specify stucco parapet caps and pop-out boxes to be sloped but provide no further information. Stucco industry standards require a minimum 1:2 slope. Providing slope to stucco surfaces minimizes the absorption of the water through the stucco and into the framed wall components. Waterproofing below the stucco cap should be used regardless of the slope. For further discussion, refer to section C.1.e of this report.

The as-built slope measurements of the stucco parapet walls were constructed with varying slope ranging between 0- to 30-percent, and the stucco pop-out boxes were constructed with varying slope ranging between 5- to 15-percent. At some locations, the stucco was constructed with a slope away from the point of drainage. Also, at some locations the stucco at the roof parapets was sloped to the exterior instead of constructed with the slope inward towards the roof. Where stucco slope does not meet industry standards, and combined with the cracks in the stucco, water is allowed to penetrate under the stucco system.

Where non-compliant slope of stucco at horizontal surfaces exists, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.

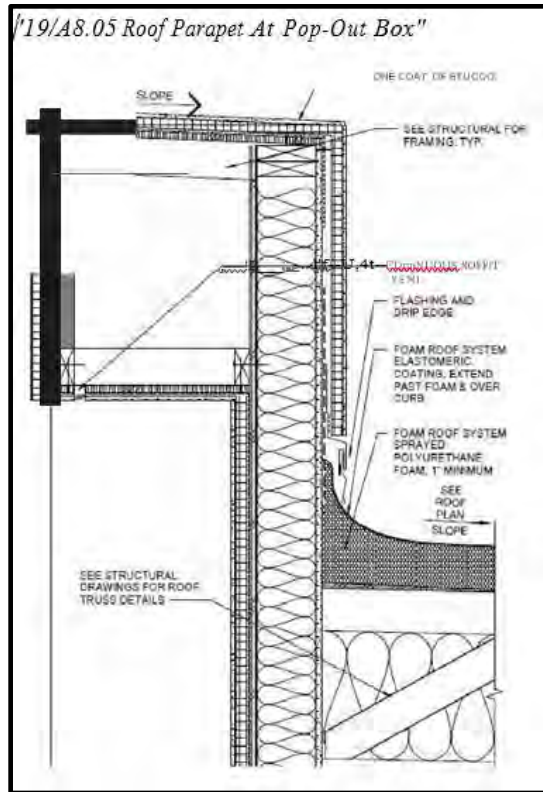
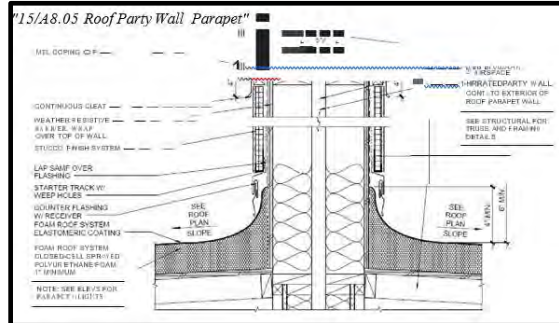
**SBSA Standards:**

Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.05 "Exterior Details"



**Defect C.1.0 D (Cont.) – Non-compliant slope of horizontal stucco surfaces.**

**SBSA Standards (Cont.):**



Stucco Manufacturers Association (SMA), prepared by the Northwest Wall and Ceiling Bureau, "Portland Cement Plaster Stucco Resource Guide," Third Edition, 1997.

**SBSA Locations:**

Non-compliant slope of horizontal stucco surfaces exist at locations across all buildings at the Gallery site.



**Defect C.1.0 D (Cont.) – Non-compliant slope of horizontal stucco surfaces.**

**SBSA Repair Recommendations:**

- Repair to be performed at all stucco parapet walls and pop-out boxes sloped less than 2:1.
- Remove existing stucco, lath, and building paper as required to perform the repair as described below.
- Install continuous shims to provide a 2:1 minimum slope on stucco wall caps.
- Install new self-sealing SAM that reduces the potential for water intrusion due to fastener holes.
- Install new SAM over the top of the continuous shim, ensuring SAM shingle-laps over the adjacent WRB on all sides and forms a continuous saddle at the intersections with the adjacent wall.
- Reinstall stucco as described in Repair Section C.1.c.
- Repair to be performed at all stucco parapet walls and pop-out boxes sloped less than 2:1.
- Remove existing stucco, lath, and building paper as required to perform the repair as described below.
- Install continuous shims to provide a 2:1 minimum slope on stucco wall caps.
- Install new self-sealing SAM that reduces the potential for water intrusion due to fastener holes.
- Install new SAM over the top of the continuous shim, ensuring SAM shingle-laps over the adjacent WRB on all sides and forms a continuous saddle at the intersections with the adjacent wall.
- Reinstall stucco as described in Repair Section C.1.c.

**SBSA COR:** \$26,200.00

---

**BHA Defense Response & Repair Recommendations:**

SBSA asserts the stucco parapet caps and pop-out boxes, commonly referred to in Arizona as "pot shelves", are not properly sloped. SBSA further opines:

*"Where stucco slope does not meet industry standards, and combined with the cracks in the stucco, water is allowed to penetrate under the stucco system."*



**Defect C.1.0 D (Cont.) – Non-compliant slope of horizontal stucco surfaces.**

**BHA Defense Response & Repair Recommendations (Cont.):**

BHA inspected every location where SBSA performed destructive testing at pot shelves and parapet caps and documented the condition of the framing exposed during the testing. None of the framing was stained or showed any evidence of water damage resulting from inadequate slope.

BHA also inspected all the roof parapet caps and observed all had positive slope. BHA did not observe any signs of standing water on top of any of the parapet caps. BHA argues the intent of the designer was prevent water from standing on the parapet caps. It doesn't matter if the slope at one spot of the parapet cap is 1 percent and another spot 6 feet away is 5 percent. What matters is the as-constructed condition is performing as intended. A technical deficiency, in and of itself is not a defect. SBSA has not provided any evidence of non-performance. No defect exists. No repairs are needed.

**BHA COR:** \$0.00

---

**HCCI Response to Defect Allegation:**

HCCI observed instances of improper slope at horizontal stucco surfaces at the inspections we attended and during our extensive review of plaintiff and developer photographs (**Photo #5**).



**Defect C.1.0 D (Cont.) – Non-compliant slope of horizontal stucco surfaces.**

**HCCI Response to Defect Allegation (Cont.):**



**Photo #5 (Pltff Photo Disc OBS7 Photo 350): Roof parapet wall 0.5% slope.**

SBSA asserts that the parapets and pot shelves are not properly sloped and that water is penetrating the stucco system.

HCCI did not observe any damage associated with the as-built condition where SBSA exposed the framing at parapets and pot shelves.

The as-built condition is performing as intended. No repairs are required.



**Defect C.1.0 E – Deficient self-adhered membrane under horizontal stucco system.**

**SBSA Description:**

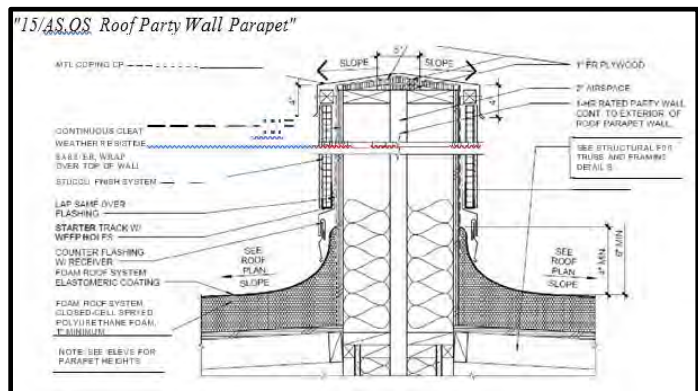
The stucco system was used at horizontal surfaces of parapet walls and pop-out boxes as discussed in section C.1.d. The architectural drawings detail the WRB to be wrapped over the top of the wall and integrated with the WRB on the vertical face of the wall. SAM was detailed to lap over the flashing or weep system at stucco termination. No clear information was shown regarding the extent of the SAM over the WRB.

Cracks at horizontally applied stucco surfaces were documented throughout the Gallery site. At intrusive examinations, the top of the stucco parapet walls and pop-out boxes were covered with Xtraflash SAM under the stucco system. Cracks and puncture holes due to the staples and nails used to attach the stucco system were documented through the SAM. Rusted fasteners and stains on the framing below at some of the intrusive examination locations indicate water intrusion had occurred through the puncture holes in the SAM. The Xtraflash SAM installed by the contractor failed to self-seal around fastener holes, which allowed water intrusion resulting in damage to the moisture-sensitive building components. As constructed, the stucco surface cracks and the puncture holes in the deficient SAM have and will allow moisture intrusion and do not comply with the weather-resistance requirements of the applicable building code.

Where breaches in the SAM applied under horizontal stucco surfaces exist, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.

**SBSA Standards:**

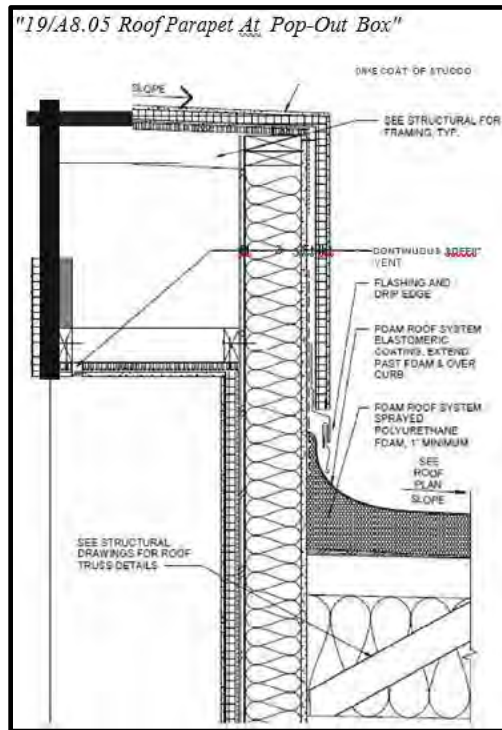
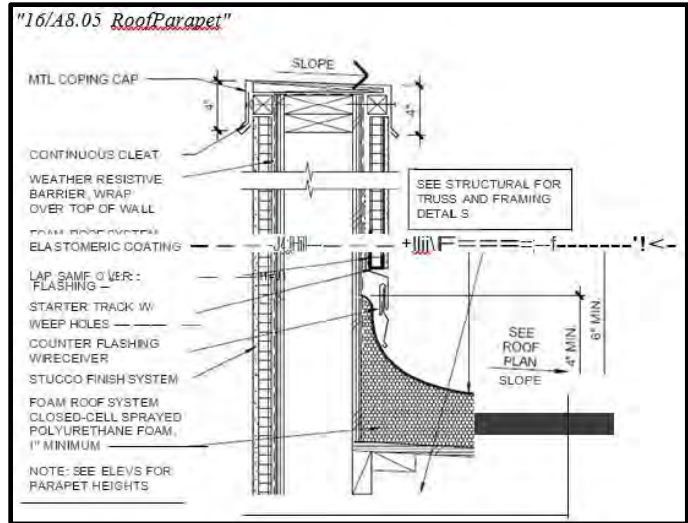
Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.05 "Exterior Details,"





**Defect C.1.0 E (Cont.) – Deficient self-adhered membrane under horizontal stucco system.**

**SBSA Standards (Cont.):**



**SBSA Locations:**

Holes in SAM underneath the horizontal stucco surfaces exist at intrusively tested locations across all buildings at the Gallery site. Refer to the attached Observation Drawings and Defect Matrix for locations and details of findings.



**Defect C.1.0 E (Cont.) – Deficient self-adhered membrane under horizontal stucco system.**

**SBSA Repair Recommendations:**

Refer to Repair Section C.1.d of SBSA's report.

**SBSA COR:** Included in costs for 1.0B.

---

**BHA Defense Response & Repair Recommendations:**

SBSA asserts the Self Adhesive Membrane ("SAM") installed on the horizontal surfaces of the parapet caps and pot shelves has failed. SBSA further opines:

*"The Xtraflash SAM installed by the contractor failed to self-seal around fastener holes, which allowed water intrusion resulting in damage to the moisture-sensitive building components. As constructed, the stucco surface cracks and the puncture holes in the deficient SAM have and will allow moisture intrusion and do not comply with the weather-resistance requirements of the applicable building code."*

BHA inspected every location where SBSA exposed SAM during its destructive testing. SBSA did not perform any water testing at any of the locations. BHA documented the SAM was properly installed. One of the characteristics of the XtraFlash SAM is its ability to "self-heal" which seals any fastener penetration. SBSA has not provided any evidence fastener penetrations have caused the SAM to fail. The SAM, as installed, is performing as intended. No defect exists. No repairs are needed.

**BHA COR:** \$0.00

---

**HCCI Response to Defect Allegation:**

HCCI did not observe evidence of improperly installed self-adhered membrane during our extensive review of plaintiff and developer photographs.

SBSA asserts that the self-adhered membrane ("SAM") was installed without sealing around fastener holes which allowed water intrusion and damage to framing.

SAM is used on horizontal surfaces because of its self-sealing characteristics and it is not typically required that fasteners must be sealed. HCCI did not observe any damage associated with the as-built condition where SBSA exposed the SAM.

The as-built condition is performing as intended. No repairs are required.



## **Defect C.1.0 F – Missing Control/Movement Joints.**

### **SBSA Description:**

In order to control cracking, industry standards require the installation of control or movement joints to limit the impacts of expected internal stresses within the material, especially at areas where high stresses occur. This includes rectangular penetrations through stucco, such as at the corners of fenestrations, as well as changes in plane and floor lines. Moreover, the areas in the field of the wall between stucco control joints are required to be limited to 144-square-feet to maintain a length-to-width ratio of not more than 2.5 to 1 and to not exceed 18-feet between control joints. With one-coat systems, it is recognized that a higher level of crack control will be necessary than with conventional three-coat systems. Either increased systems of movement joints or admixtures in the cementitious products can be utilized to reduce the system's propensity of cracking.

The architectural drawings include typical vertical control joint and typical sealant joint details for stucco. The architectural details specified 3/8- to 1/2-inch-wide sealant joint with backer rod installed in a width to depth ratio of 1:2. The architectural drawings also allowed for an alternate method using 3/8- to 1/2-inch-wide sealant installed over bond breaker tape. The manufacturer's product specification references ASTM C1063 for lath installation. ASTM C1063 requires control joints spaced a maximum 18-feet in each direction or a length to width ratio less than 2.5 to 1.

The architectural elevations do not specifically locate or identify all the control joints. The architectural side elevations of the buildings illustrate continuous vertical control joints at the window to stucco interfaces and specify typical Detail 1/A8.01, which illustrates the Architect's design intent regarding control joint location. Continuous vertical control joints were generally installed at window jambs on side elevations of all buildings. No horizontal control joints were installed at any of the building elevations and no vertical control joints were installed on the front and rear elevations at any of the buildings. Stucco cracks have been identified on all building elevations of the Gallery site. The contractor should have requested additional information regarding the control joints specified on the architectural drawings as well as the manufacturer's lath installation and control joint requirements. Failure to install compliant control/movement joints violates the manufacturer's installation instructions and industry standards, contributing to the cracking throughout the stucco system.

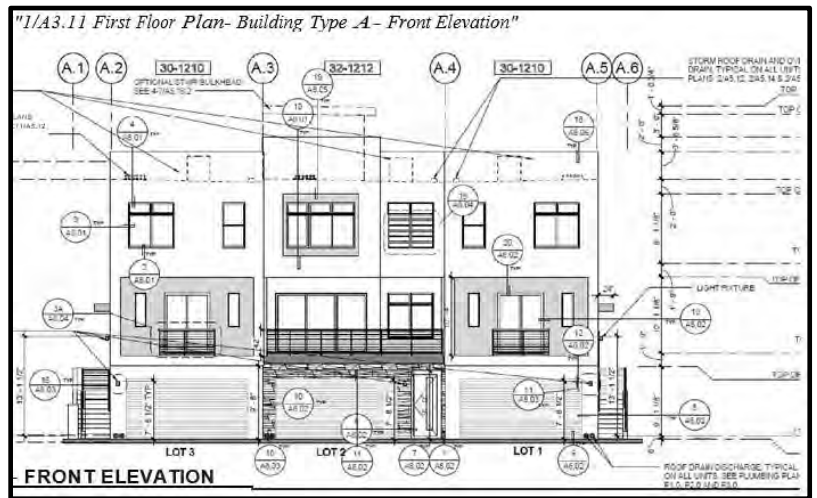
Where non-compliant control/movement joints exist, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.



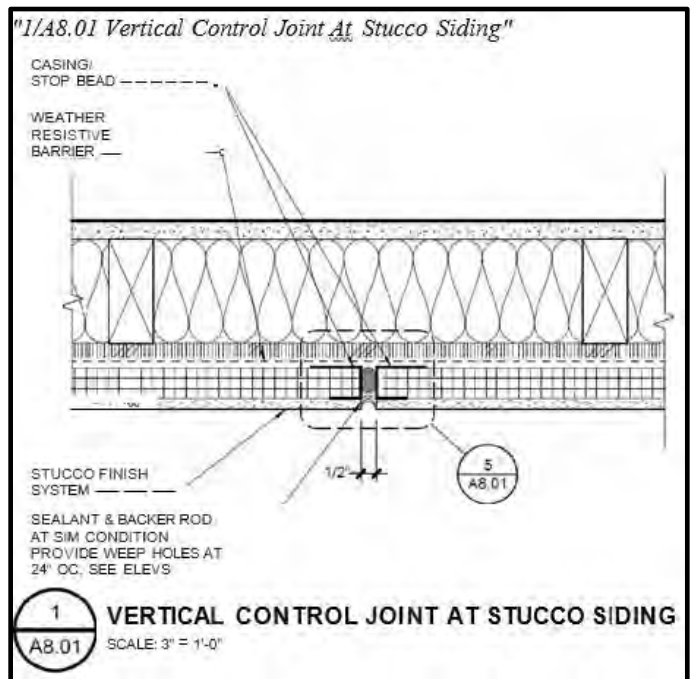
**Defect C.1.0 F (Cont.) – Missing Control/Movement Joints.**

**SBSA Standards:**

Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A3.11 "Exterior Elevations Building A, 5-Plex, Gallery Site #1," "Elevation Notes."



Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.01 "Exterior Details."





**Defect C.1.0 F (Cont.) – Missing Control/Movement Joints.**

- SBSA Standards (Cont.):** Amerirnix, "Fiber Base Coat Stucco AMX 750 FBC," Revised June 2016, Section 4.
- American Society of Testing and Materials (ASTM), ASTM C1063-16 "Standard Specification for Installation of Lathing and Furring to Receive Interior and Exterior Portland Cement-Based Plaster," 2016, Section 7 "Installation," subsection 7.11.
- ICC Evaluation Service Report (ESR), Evaluation Report ESR-3529 "Evaluation Subject: Amerirnix Fiber Base Coat Stucco," reissued February 2017, Section 4.0
- SBSA Locations:** Missing control or movement joints for stucco exists at all building elevations across the Gallery Townhomes site. Refer to the attached Observation Drawings and Defect Matrix for locations and details of findings.
- SBSA Repair Recommendations:**
- Refer to Repair Section C.1.b of SBSA's report.
- SBSA COR:** Included in costs for 1.08.

---

**BHA Defense Response & Repair Recommendations:**

SBSA asserts stucco control joints are required accessories and are missing. SBSA further opines:

*"Failure to install compliant control/ movement joints violates the manufacturer's installation instructions and industry standards, contributing to the cracking throughout the stucco system."*



**Defect C.1.0 F (Cont.) – Missing Control/Movement Joints.**

**BHA Defense Response & Repair Recommendations (Cont.):**

For many of SBSA's stucco allegations, SBSA cites standards that apply to traditional three-coat stucco systems. The stucco system used at this project is a one-coat system. The stucco thickness is half that of three-coat stucco. In addition, the one-coat stucco material has fiberglass or acrylic fibers added to the mix to assist in minimizing cracking. Control joints are installed in concrete or other cementitious materials to try to "control" where expected cracking occurs. While one-coat stucco is a cementitious product and does crack it does not crack the same way three-coat stucco does. Most of typically minor cracking observed in one-coat stucco occurs during the curing process. One-coat stucco does not have an ongoing need to control cracking like three-coat stucco does. As such, the use of control joints in a one-coat stucco system is typical used by an architect as a design element. Such is the case at this project. SBSA argues the architect's design intent was to use control joints at every elevation, however, the architect only specified control joints on the side elevation drawings. If the architect wanted to use the same design element on the front elevation it is not unreasonable to assume the front elevation would reflect it. BHA maintains there is no practical need for control joints in a one-coat stucco system. SBSA's has not provided any evidence the lack of control joints has adversely affected the stucco in any way.

All the stucco cracks observed at this project are hairline with none being larger than 1/32 inches wide. The cracking is well within AROC guidelines. The stucco system is performing as intended. No defect exists. No repairs are needed.

**BHA COR:** \$0.00

**HCCI Response to Defect Allegation:**

SBSA has asserted that stucco control joints are required and missing and that their absence is contributing to cracking throughout the stucco system.

However, SBSA's report states that:

*“The architectural elevations do not specifically locate or identify all the control joints. The architectural side elevations of the buildings illustrate continuous vertical control joints at the window to stucco interfaces and specify typical Detail 1/A8.01, which illustrates the Architect's design intent regarding control joint location.”*

Furthermore, the configuration of these buildings does not result in any large, uninterrupted planes of stucco and consequently, would not benefit from the addition of control joints. The cracking that exists is well within industry tolerances.

No repairs associated with Desert Vista are required.



**Defect C.2.0 a – Missing Sheet Metal Flashing at Window Head.**

**SBSA Description:**

Sheet metal flashings work in conjunction with the surrounding moisture management system by guiding water away from the WRB and out to the exterior of the facades. Sheet metal flashings are commonly installed at horizontal terminations of facades, including above the foundation line, above fenestrations, above decorative trim, and above lower roofs. Missing or improperly installed sheet metal flashing results in the misdirection of water and prevention of water from exiting the cladding systems.

In order to work as intended, sheet metal flashings need to be installed in a manner that promotes positive drainage and hinders moisture from re-entering the system. This requires shingle-lapped integration with the WRB and the presence of end dams and positive slope (typically 5-degrees). End dams and positive slope direct the water off of the face of the flashing rather than allowing it to pool or run laterally off of the sides back into the assembly. Flashings additionally require unobstructed clearance from claddings.

The architectural details specify 4-inch vertical leg sheet metal flashing with 1-inch drip edge and end dams at door and window heads. The flashings were detailed with 10-degree slope at door heads and 15-degree slope at window heads. The architectural details also required the WRB to be shingle-lapped over sheet metal head flashing and sealant under the drip edge to the fenestration frame. At the Gallery site, the sheet metal flashings were generally missing at the fenestration heads. The ineffectiveness of the flashing at fenestration heads is further compounded when cladding is installed tight to fenestration heads without a weep mechanism as discussed in Section C.1.a. This allows water to drain directly onto the fenestration frame and accumulate. As constructed, the moisture-management system at fenestration heads is non-compliant with the architectural drawings. This non-compliant condition, along with the combination of other construction defects of the stucco system, will more likely than not reduce the functionality of the stucco system and the general appearance of the cladding in the foreseeable future.

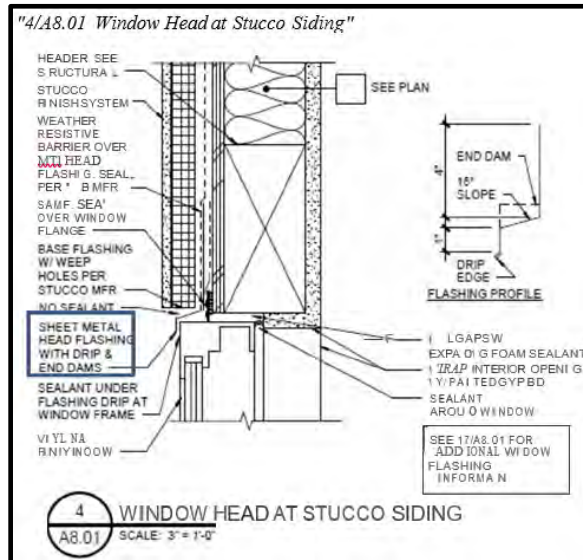
Where non-compliant issue exists, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.



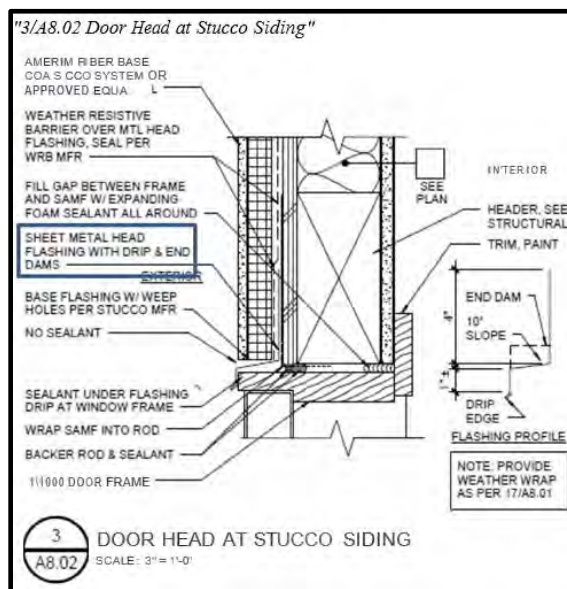
**Defect C.2.0 a (Cont.)– Missing Sheet Metal Flashing at Window Head.**

**SBSA Standards:**

Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.01 "Exterior Details."



Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.02 "Exterior Details."



International Code Council, Inc. (ICC), "International Building Code (IBC)," 2012, Chapter 14 "Exterior Walls," Section 1405.



**Defect C.2.0 a (Cont.)– Missing Sheet Metal Flashing at Window Head.**

**SBSA Locations:** Sheet metal flashings are missing at fenestration head across all buildings at the Gallery site. Refer to the attached Observation Drawings and Defect Matrix for locations and details of findings.

**SBSA Repair Recommendations:**

- Coordinate with replacement of the WRB and the stucco system as described in the stucco repair sections of SBSA's report.
- Where sheet metal flashing is missing at fenestration heads, perform the repair described below.
- Install new pre-finished sheet metal flashings with 4-inch vertical legs and horizontal legs sloped 10- to 15-degrees as detailed on the architectural plans with hemmed drip edges.
- Apply sealant at ends of sheet metal flashing to provide end dams.
- Ensure all flashing joints and comers are sealed.
- Ensure that the WRB above is shingle-lapped with the sheet metal flashing.
- Reinstall cladding per manufacturer instructions with a minimum 1/ 4-inch clearance between the bottom of cladding and the back of the sloped sheet metal flashing. Gap between the cladding and flashing to remain unsealed.
- Coordinate repair with related cladding and underlying moisture-management repair recommendations.

**SBSA COR:** \$19,732.57.

---

**BHA Defense Response & Repair Recommendations:**

SBSA asserts the window heads of every window are missing sheet metal flashing as specified in the construction drawings. SBSA further opines:

*"The ineffectiveness of the flashing at fenestration heads is further compounded when cladding is installed tight to fenestration heads without a weep mechanism as discussed in Section C.1.a. This allows water to drain directly onto the fenestration frame and accumulate."*



**Defect C.2.0 a (Cont.)– Missing Sheet Metal Flashing at Window Head.**

**BHA Defense Response & Repair Recommendations (Cont.):**

As part of SBSA's destructive testing protocol, stucco was removed from the corner of several window heads. SBSA did not perform any water testing at any window units prior to the stucco removal. BHA was present for the testing and documented the condition of the head flashing at each window tested. At every window the head flashing did not show any sign of failure. To support its claim, SBSA cites IRC section R703.8 Flashing:

*"R703.8: Flashing. Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at all of the following locations:*

*1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage ... "*

SBSA omitted the rest of the section that specifies how the flashing should be installed:

*"Flashing at exterior window and door openings shall be installed in accordance with one or more of the following:*

*1. 1. The fenestration manufacturer's installation and flashing instructions ..."*

The windows were flashed following the window manufacturers recommendations, which does not require any metal head flashing.

SBSA argues the lack of metal flashing does not comply to the construction drawings. A deviation from a non-structural detail is not a defect. BHA is unaware of any leaks at any of the windows at this project.



**Defect C.2.0 a (Cont.)– Missing Sheet Metal Flashing at Window Head.**

**BHA Defense Response & Repair Recommendations (Cont.):**

The performance of the window installation has not been compromised. BHA maintains that intent of the code requirements has been met. No defect exists. No repairs are needed.

**BHA COR:** \$0.00

---

**HCCI Response to Defect Allegation:**

SBSA has asserted that sheet metal head flashings are missing from window heads.

The manner in which Desert Vista terminated their plaster system at window heads is consistent with the predominant custom and practice in the Greater Phoenix region. In fact, the windows are specifically manufactured to receive the stucco system *without* additional weeping mechanisms.

The as-built condition is consistent with regional practices and is performing as intended. No modification to the window assemblies associated with Desert Vista's work is required.



**Defect C.2.0 b – Non-Compliant Flashing to Stucco Interface.**

**SBSA Description:**

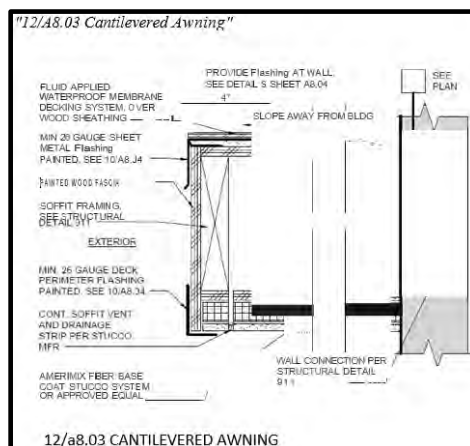
Metal flashing with a drip edge is installed at all deck perimeters and the perimeters of the cantilevered awnings above the end unit side doors to divert water away from the cladding below the flashing. Where the metal flashing and cladding interface is built incorrectly, the flashings cannot perform their intended function to divert water away from the cladding. Water is allowed to penetrate behind the claddings at the metal flashing interface, which results in damage to the underlying building components.

At the Gallery site, the metal flashing at the perimeter of the decks and cantilevered awnings is inset above the stucco and water drains into the stucco system below. The stucco is built out at the deck and cantilevered awning edges, which prevents the stucco from terminating behind the flashing. The architectural details illustrate stucco and wood fascia behind the metal edge flashing with a drip edge at the deck and cantilevered awnings, respectfully. At the as-constructed cantilevered awning edges, stucco was substituted for the painted wood trim. The architect specifies the edge flashing to be installed per the Sheet Metal and Air Conditioning Contractors' National Association (SMACNA) and required installation that prevents water from bucking against the cladding. At some locations, the edge flashing is installed over the stucco, which suggests the installer was cognizant of the project specifications. Stains and cracks in the stucco below the edge flashing indicate that water is not diverted away from the stucco.

Where non-compliant flashing to stucco interface exists, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.

**SBSA Standards:**

Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.03 "Exterior Details."

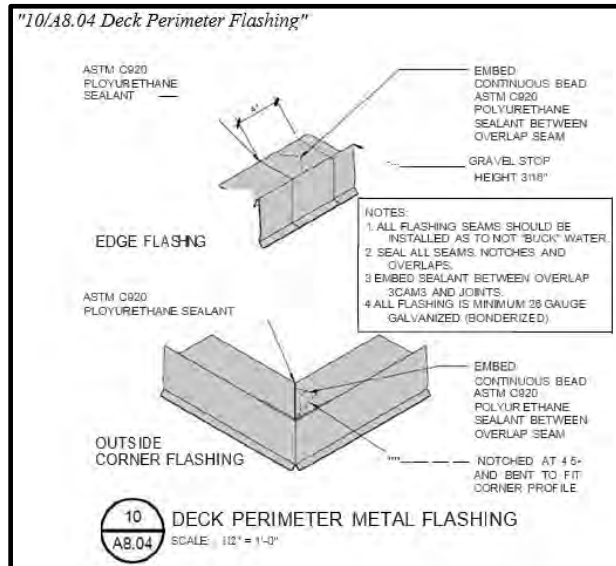




**Defect C.2.0 b (Cont.) – Non-Compliant Flashing to Stucco Interface.**

**SBSA Standards (Cont.):**

Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.04 "Exterior Details."



- "9/A8.04 Deck Sheet Metal Corners"*
- NOTES:
1. ALL FLASHING REQUIRE SOLVENT WIPE.
  2. ALL FLASHING SEAMS SHALL BE INSTALLED AS TO NOT "BUCK" WATER
  3. EMBED SEALANT BETWEEN OVERLAP SEAM AND JOINTS.
  4. ATTACHMENT PER SMACNA.
  5. ALL EXPOSED METAL TO BE COATED MFR FINISH COAT.

Sheet Metal and Air Conditioning Contractors' National Association, Inc. (SMACNA), "Residential Sheet Metal Guidelines," First Edition, 2001, Chapter 2 "Decks," subsection 2.2 "Coated Decks," subsection 2.2.1 "Deck to Wall Flashing,"



**Defect C.2.0 b (Cont.) – Non-Compliant Flashing to Stucco Interface.**

**SBSA Locations:** Non-compliant sheet metal flashings to stucco interface is present at all buildings at the Gallery site. Refer to the attached Observation Drawings and Defect Matrix for locations and details of findings.

**SBSA Repair Recommendations:**

- At elevated decks and awnings, remove existing edge flashing and membrane/coating to allow for stucco repairs described below.
- Remove and replace stucco as required by the architectural details 12/ A8.03 and 5/ A8.04. Coordinate with replacement of the WRB and the stucco system as described in the stucco repair sections of SBSA's report.
- Install new edge flashing at decks per Section C.4.a of SBSA's report. New deck coating and new awning TPO perimeter edge membrane will be required to facilitate the repairs. Ensure the flashing is integrated with the new deck coating and awning TPO membrane.

**SBSA COR:** \$48,307.74.

---

**BHA Defense Response & Repair Recommendations:**

SBSA asserts some of the balcony decks have edge metal that is buried by the stucco it is designed to cover. BHA agrees the condition is problematic and should be repaired. BHA disagrees with SBSA's excessive repair to remove the stucco and deck coating to access the existing edge metal and to reflash the decks before restoring the finishes. Where deck edge metal is buried in the stucco, extend the edge metal past the stucco face by installing new sheet metal under the existing drip edge. The new sheet metal should have a break to match the existing edge metal and be installed in a continuous bed of silicone sealant and then painted to match. No stucco or deck coating needs to be removed to facilitate this repair.

**BHA COR:** \$4,650.00

---

**HCCI Response to Defect Allegation:**

HCCI observed evidence of this condition at the inspections we attended and during our extensive review of plaintiff and developer photographs (**Photo #6**).



**Defect C.2.0 b (Cont.) – Non-Compliant Flashing to Stucco Interface.**

**HCCI Response to Defect Allegation (Cont.):**



**Photo #6 (Pltff Photo Disc IT7 Photo 182): Deck edge flashing at stucco.**

SBSA asserts that the metal flashing at the deck perimeters is inset above the stucco in a non-weather board fashion, draining into the stucco system below.

From a sequencing standpoint, this flashing would have been installed *after* Desert Vista performed their work.

This condition does not relate in any part to the work of Desert Vista. No repairs associated with Desert Vista are required.



**Defect C.2.0 c – Non-Compliant Isolation Joints at Dissimilar Materials.**

**SBSA Description:**

The buildings at the Gallery site feature stucco and AMV. These facades types interface with each other and with other materials, including different claddings, window and door frames, and penetrations such as mechanical vents, electrical outlets, and gas pipes. These dissimilar materials have different thermal properties and will expand and contract at different rates.

<b>Material</b>	<b>Thermal Expansion</b>
Aluminum	1.23E-05
Brick	4.00E-06
Concrete Masonry	5.20E-06
Fiber Cement Siding	6.70E-06
Glass	8.00E-06
Mortar	7.30E-06
Rigid Polyvinyl Chloride	4.40E-05
Stucco	6.50E-06
Wood (across grain)	3.00E-05
Wood (perpendicular to)	3.00E-06

Differential movement causes separations or openings between the materials that allow air and water infiltration. Sealant joint design and construction provide the first line of defense against air and water intrusion at the building envelope. Properly sized and constructed sealant joints are required at all of the aforementioned interfaces to properly accommodate movement between dissimilar materials. Backer rod or bond breaker tape is required at isolation joints to prevent three-sided adhesion of the sealant and to allow the sealant to properly accommodate movement between dissimilar materials. Backer rod and bond breaker tape also help to provide the correct sealant profile to accommodate movement without causing excessive stress, which becomes the cause of the sealant joint failure in cohesion (i.e., within the sealant material) or in adhesion (i.e., between the sealant and the substrate).

Proper sealant at joints and penetrations additionally limits uncontrolled air movement through the wall assembly. Not providing protection from air penetration through the wall assembly fails to meet the minimum requirements required by the International Energy Conservation Code (IECC) adopted through the IRC.



**Defect C.2.0 c (Cont.) – Non-Compliant Isolation Joints at Dissimilar Materials.**

**SBSA Description (Cont.):**

The architectural drawings reference compliance with the 2012 IECC and provide typical sealant joint details for the Gallery site. Typical isolation joint details include stucco-soffit joint, stucco-AMY juncture, pipe or cable wall penetration in stucco and AMV, and electrical or mechanical mounting in stucco and AMV. The architectural drawings require backer rod and sealant all around the fenestrations and specify using AAMA 2400-10 or the manufacturer's installation instructions for window installation. AAMA-2400-10 references ASTM E2112-07 "Standard Practice for Installation of Exterior Windows, Doors and Skylights," which also discusses joints between fenestrations and the building envelope. Interfaces of dissimilar cladding materials with each other, fenestrations, and penetrations were generally installed without a sealant joint and a backer rod. Where installed, the sealant joint width was inadequate. As a result, cracks and open joints exist between materials, which act as direct paths for water to enter the wall assemblies and overwhelm and damage the underlying components. An exception is at a few locations where windows are isolated with full height vertical control joints on the side elevations of all buildings.

Ultimately, maintenance of sealant joints becomes the responsibility of the Homeowner's Association (HOA) directly after the declarant control ends. Maintenance of properly constructed sealant joints should be the responsibility of the HOA over the life of the property, but improperly constructed joints do not allow for the proper application of the joints or maintenance of the joints; something that was not originally installed cannot be maintained. Furthermore, maintenance of properly installed sealant joints is the responsibility of the declarant until the time of turnover of maintenance responsibilities to the HOA to provide for the effective useful life of the properties. The Association should be funded to properly maintain the joints, typically during paint cycles. Generally, the isolation joints in Arizona are periodically replaced every 5- to 6-years.

Where non-compliant isolation joints at dissimilar materials exist, the as-built condition falls short of the prescriptive requirements of the relevant codes, design, and industry standards and, therefore, the developer, contractor, and subcontractors who performed the work fell below the standard of care.

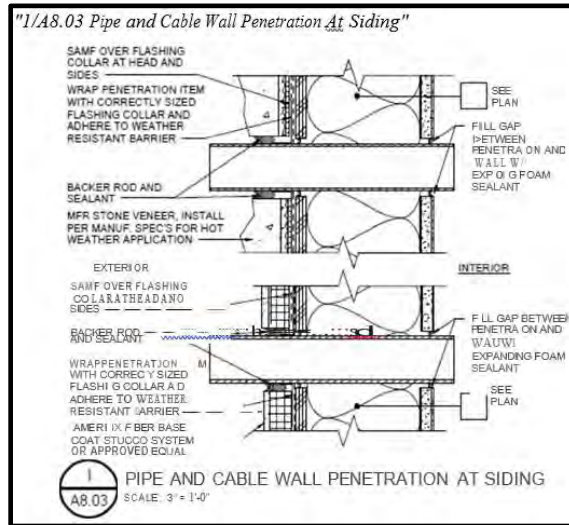
**SBSA Standards:**

Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.03 "Exterior Details."

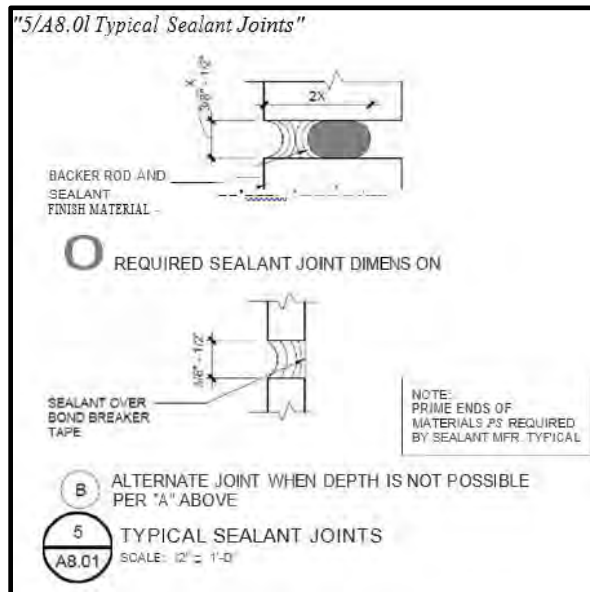


**Defect C.2.0 c (Cont.) – Non-Compliant Isolation Joints at Dissimilar Materials.**

**SBSA Standards (Cont.):**



Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.01 "Exterior Details."

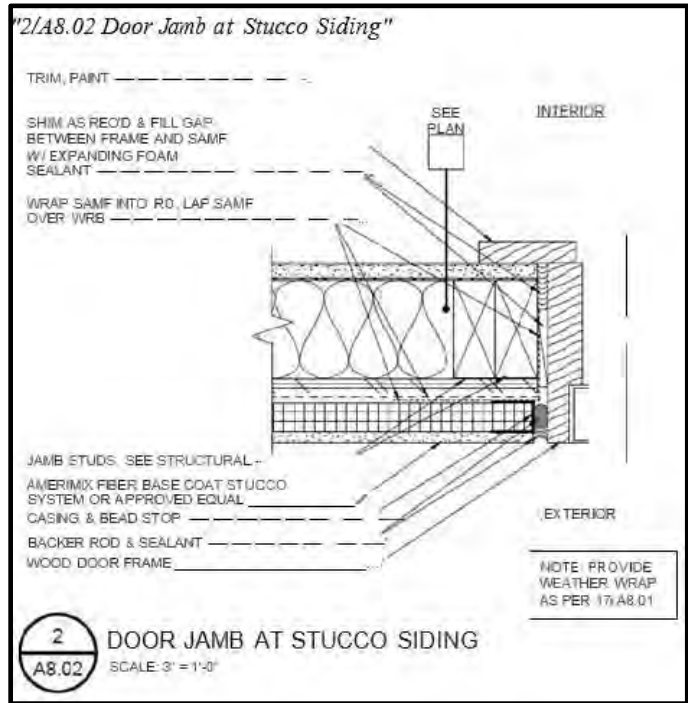


Otak, Inc., "K. Hovnanian Homes, Gallery Townhomes," revised date August 2, 2016, Sheet A8.02 "Exterior Details."



**Defect C.2.0 c (Cont.) – Non-Compliant Isolation Joints at Dissimilar Materials.**

**SBSA Standards (Cont.):**



International Code Council, Inc. (ICC), "International Energy Conservation Code (IECC)," 2012, Chapter 4 "Residential Energy Efficiency," Section R402.

American Architectural Manufacturers Association, AAMA 2400-10 "Standard Practice for Installation of Windows with a Mounting Flange in Open Stud Frame Construction for Low Wind/Water Exposure," 2010, Section 2.0; 5.0, 6.0.

American Society of Testing and Materials (ASTM), ASTM E2112-07 "Standard Practice for Installation of Exterior Windows, Doors and Skylights," 2007, Section 5 "Related Issues and Procedures," subsection 5.2 "Joints and Anchorages."

**SBSA Locations:**

Non-compliant isolation joints at dissimilar materials exist at locations across the Gallery site.



**Defect C.2.0 c (Cont.) – Non-Compliant Isolation Joints at Dissimilar Materials.**

**SBSA Repair Recommendations:**

- At locations where stucco interfaces with dissimilar materials, perform the following repairs. Typical locations for repair include joints at fenestrations, penetrations at all cladding types, vertical joints between cladding types, and joints between all cladding types and wood trim, including fascia trim at re-entrant corners.
- Reinstall cladding as required to address other repair recommendations, providing 3/8- to 1/2-inch-wide gap between dissimilar materials. The depth to width ratio for the joint should be equal to 2:1. At stucco, provide casing bead at edge of joint.
- Install type B backer rod and low-modulus elastomeric sealant to provide compliant butt isolation joint at dissimilar material interfaces with joint widths that are 3/8-inch or greater.
- Install polyethylene bond breaker tape and low-modulus elastomeric sealant to provide compliant fillet isolation joint at dissimilar material interfaces where the existing space is less than 3/8-inch wide or the dissimilar materials are out of plane.
- Following installation of sealant isolation joints at penetrations through the cladding, set surface mounted objects in continuous sealant against the face of the cladding. Where applicable, profile the sealant at the top of the surface-mounted objects to promote drainage over the top flanges.

**SBSA COR:** \$14,946.68.

**BHA Defense Response & Repair Recommendations:**

SBSA asserts isolation joints at junctures between dissimilar materials is missing or is improper. From SBSA exemplar photographs in its report it appears SBSA is alleging this condition exists at windows, sliding glass doors, and stucco penetrations. SBSA does not provide any evidence of damage or nonperformance.

BHA inspected the windows and stucco penetrations and did not observe any damage resulting from missing isolation joints. BHA did observe finish cracks along the tops of the adjacent CMU stairways at some buildings. At these stairways, repairs are warranted. At junctures between adjacent entry stairways, remove stucco and existing sealant, add foam backer rod and seal gap with high grade flexible sealant. Touch up paint to match adjacent finishes.

**BHA COR:** \$1,280.00



**Defect C.2.0 c (Cont.) – Non-Compliant Isolation Joints at Dissimilar Materials.**

**HCCI Response to Defect Allegation:**

SBSA has asserted that fenestrations and penetrations were installed without backer rod and sealant and where installed, the sealant joint width was inadequate.

The manner in which Desert Vista terminated their plaster system around windows and other penetrations is consistent with the predominant custom and practice in the Greater Phoenix region. In fact, the windows are specifically manufactured such that they do not require that the stucco system terminate into an isolation joint.


The as-built condition is consistent with regional practices and is performing as intended. No modification to the window assemblies, or other penetrations, associated with Desert Vista's work is required.



## IV. HCCI Cost Estimate Development

- Preparation of HCCI's Project Site Assessment (**HCCI Appendix I**).
- Review of HCCI site inspection photographs.
- Review of plaintiff expert's site inspection photographs.
- Review of developer expert's site inspection photographs.
- Review of project and case documents.
- Historical pricing from recent projects.
- Unit price cost data from RS Means Residential Cost Data.
- Determination of regional wage rates from United States Department of Labor Bureau of Labor Statistics Metropolitan and Nonmetropolitan Area Occupational Employment and Wage Estimates for Phoenix-Mesa-Scottsdale, AZ.<sup>3</sup>
- Application of standard markups.

The primary goal of this report is to provide a cost estimate that is reflective of the market costs for this scope of work. The means and methods of accomplishing that work are derived from HCCI's own extensive experience in remedial construction.



---

**West Harrington, President**  
Harrington Construction Co., Inc.  
January 31, 2022

---

<sup>3</sup> U.S. Bureau of Labor Statistics Wage Data



# **HCCI Appendix I**

---

## **HCCI Project Site Assessment**

**Sheet Index:**

Sheet No.	Sheet Title
1.0	TITLE SHEET
2.0	REGIONAL VIEW
3.0	COUNTY ASSESSOR MAP
4.0	AERIAL VIEW
5.0	OBLIQUE VIEWS
6.0	HISTORIC AERIAL IMAGERY

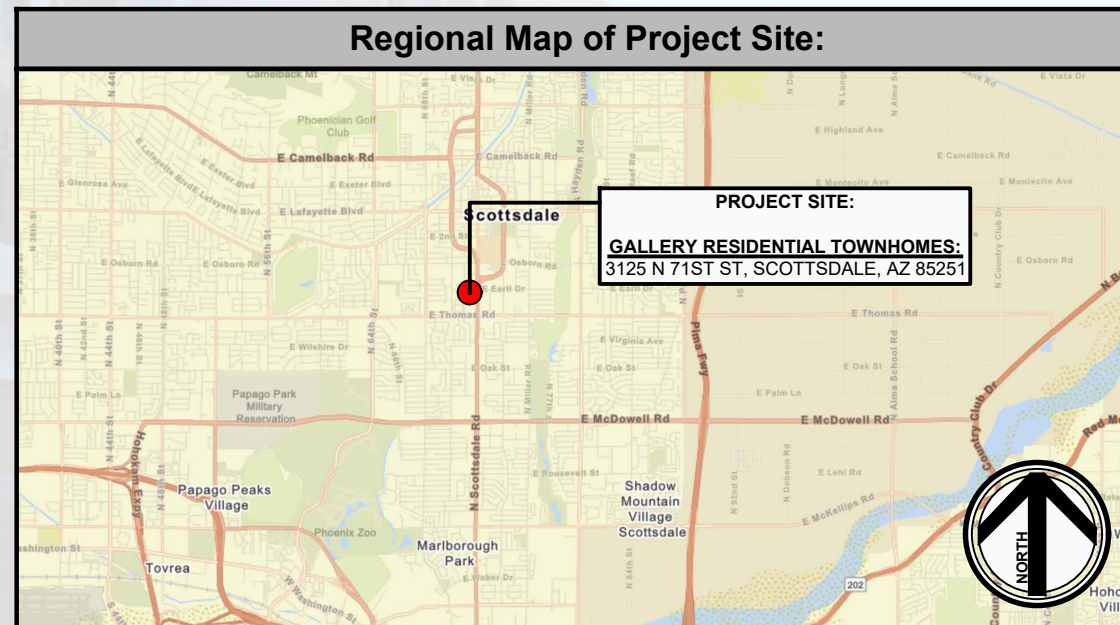
# HCCI Project Site Assessment

## Gallery Community Association v. K. Hovnanian at Gallery, Inc., et. al.

*Desert Vista, Inc.*

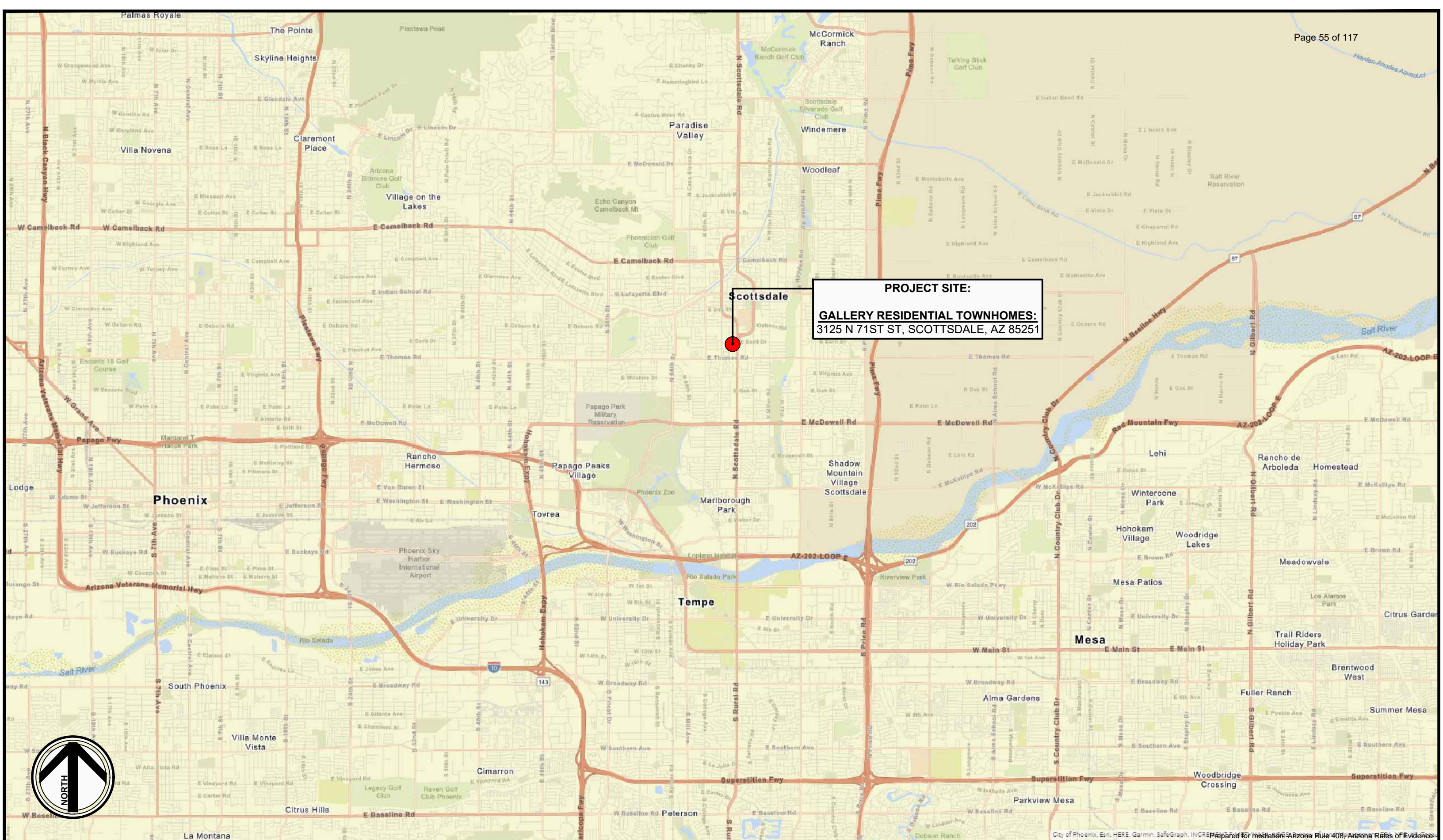
Scottsdale, Maricopa County, Arizona

**Regional Map of Project Site:**



**Aerial View of Project Site:**





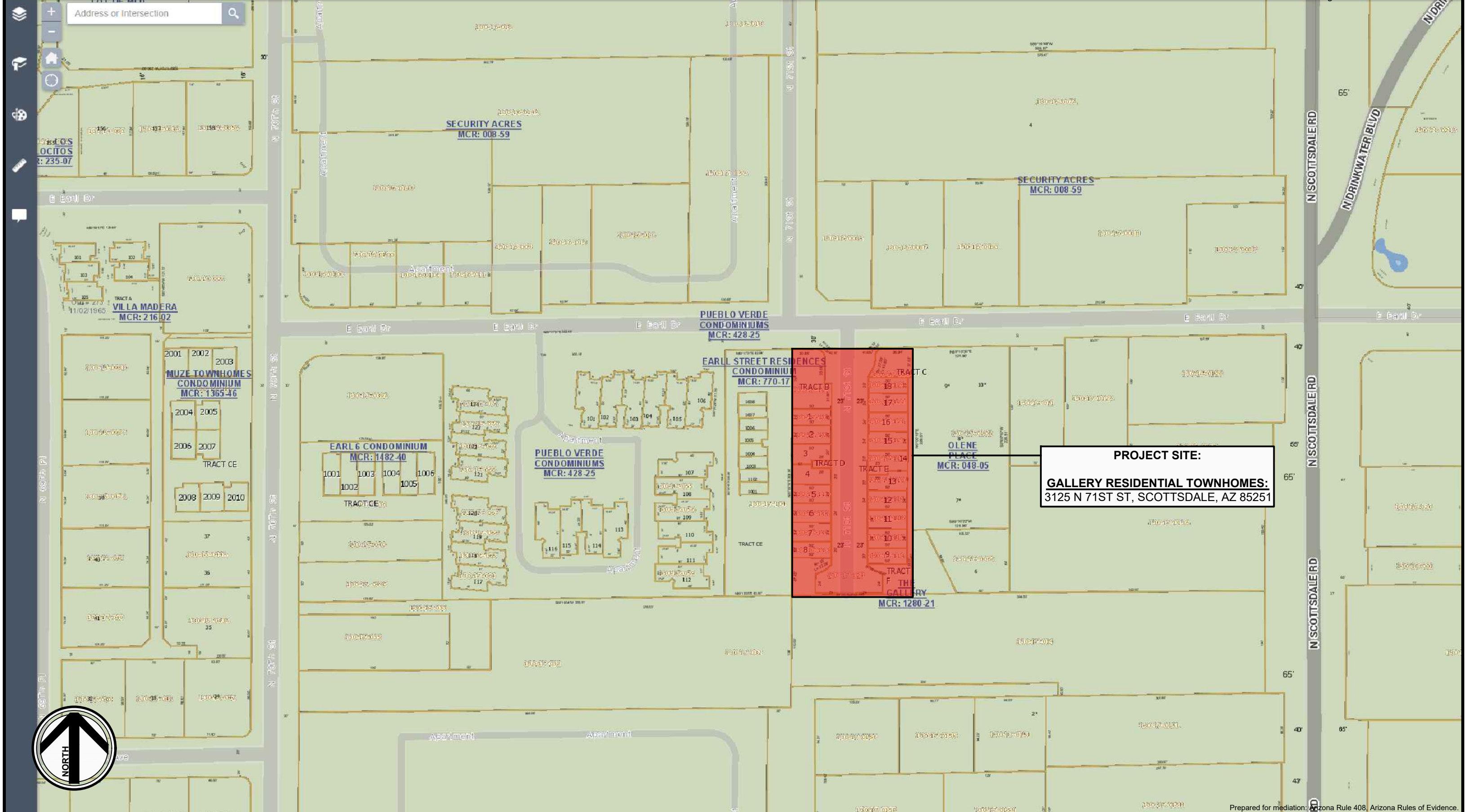
**HARRINGTON CONSTRUCTION CO., INC.**  
 General Contractors • Consultants  
 10470 Foothill Blvd, Suite 230, Rancho Cucamonga, CA 91730  
 T: (909) 861-5452 • F: (909) 861-2871 • hcci@hccigroup.com

Sheet Title:  
**Regional View**

Project Name:  
**Gallery Community Association v. K. Hovnanian at Gallery, Inc., et al.**  
 3125 N 71st St, Scottsdale, AZ 85251  
 c:\users\admin\desktop\hcci projects\6950-a gallery\cad components\title block 11x17\3.1.dwg

Info:  
 HCCI Case #: 6950-A  
 Case Name: Gallery  
 Date: 12/6/21  
 Scale: As Shown

Sheet No:  
**2.0**  
 DV001072



**PROJECT SITE:**  
**GALLERY RESIDENTIAL TOWNHOMES:**  
 3125 N 71ST ST, SCOTTSDALE, AZ 85251

**HARRINGTON CONSTRUCTION CO., INC.**  
 General Contractors • Consultants  
 10470 Foothill Blvd, Suite 230, Rancho Cucamonga, CA 91730  
 T: (909) 861-5452 • F: (909) 861-2871 • hcci@hccigroup.com

Sheet Title:  
**County Assessor Map**

Project Name:  
**Gallery Community Association v. K. Hovnanian at Gallery, Inc., et. al.**  
 3125 N 71st St, Scottsdale, AZ 85251  
 c:\users\admin\desktop\hcci projects\6950-a gallery\cad components\title block 11x173.1.dwg

Info:  
 HCCI Case #: 6950-A  
 Case Name: Gallery  
 Date: 12/6/21  
 Scale: As Shown

Sheet No:  
**3.0**  
 DV 001073

E EARLL DR

N 71ST ST

**PROJECT SITE:**  
**GALLERY RESIDENTIAL TOWNHOMES:**  
 3125 N 71ST ST, SCOTTSDALE, AZ 85251  
 (IMAGE SOURCE: NEARMAP AERIAL IMAGE DATED 10/06/21)



Ved Oct 6 2021

Prepared for mediation: Arizona Rule 408, Arizona Rules of Evidence.

**HARRINGTON CONSTRUCTION CO., INC.**  
 General Contractors • Consultants

10470 Foothill Blvd, Suite 230, Rancho Cucamonga, CA 91730  
 T: (909) 861-5452 • F: (909) 861-2871 • hcci@hccigroup.com

Sheet Title:

Aerial View

Project Name:

**Gallery Community Association v. K. Hovnanian at Gallery, Inc., et. al.**

3125 N 71st St, Scottsdale, AZ 85251

c:\users\admin\desktop\hcci projects\6950-a gallery\cad components\title block 11x17\3.1.dwg

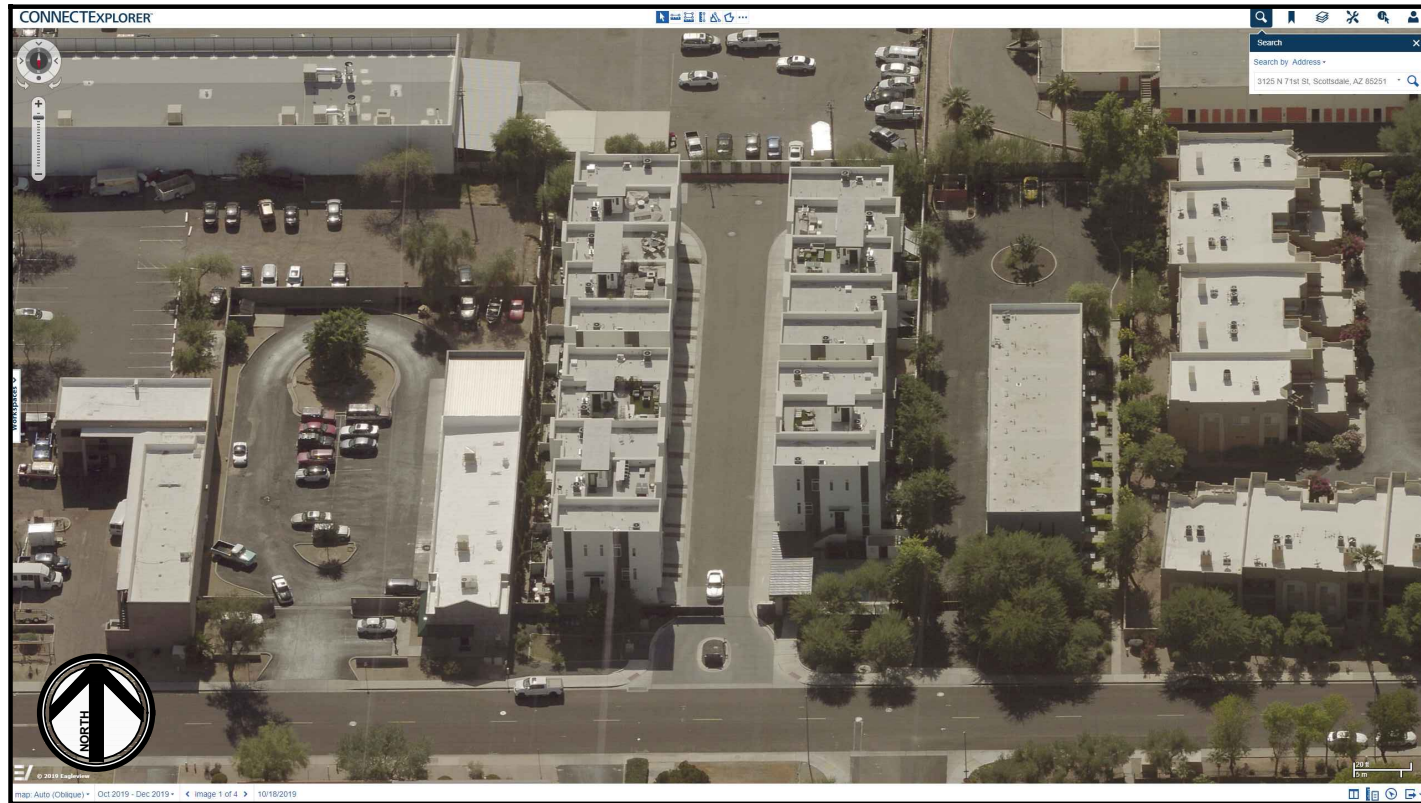
Info:

HCCI Case #: 6950-A  
 Case Name: Gallery  
 Date: 12/6/21  
 Scale: As Shown

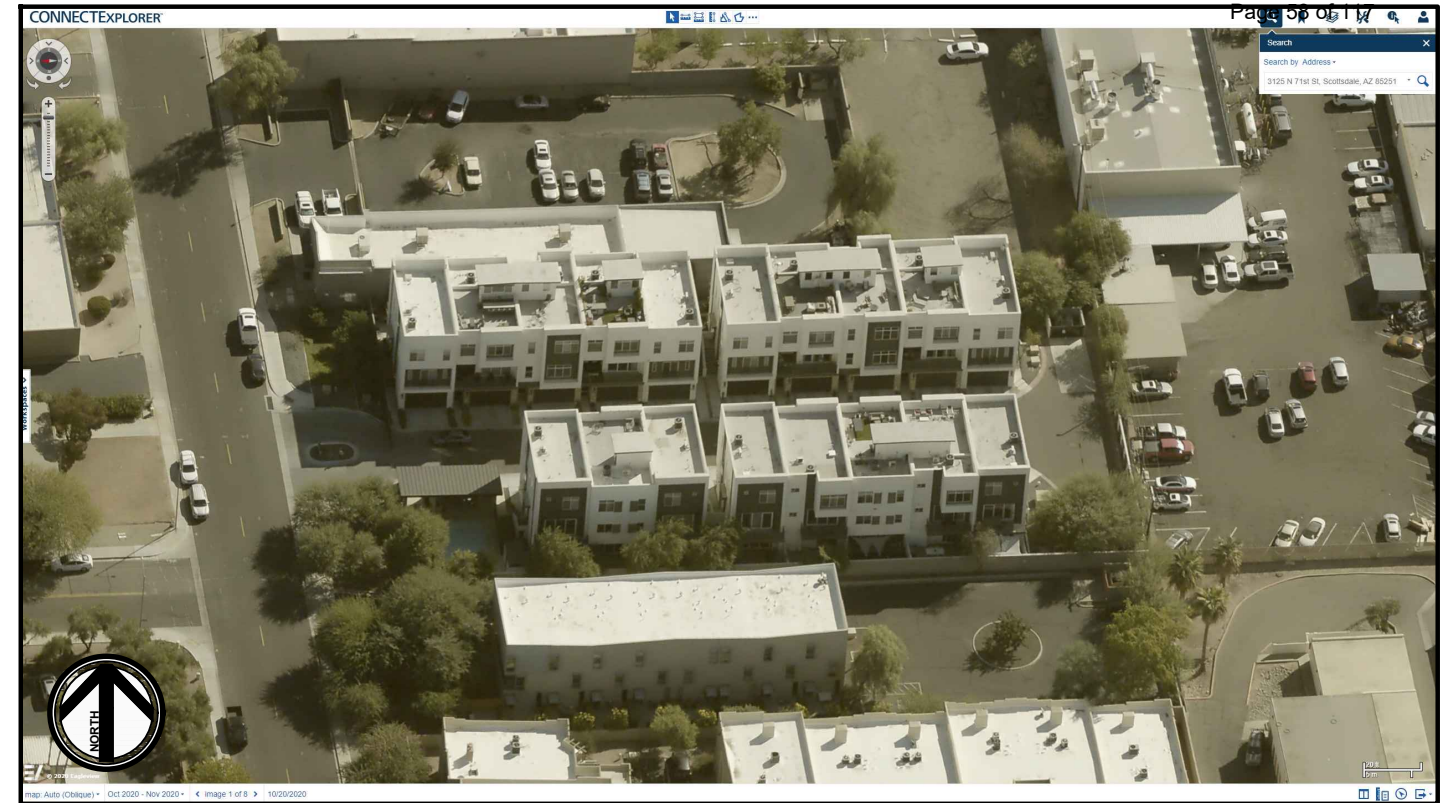
Sheet No:

**4.0**

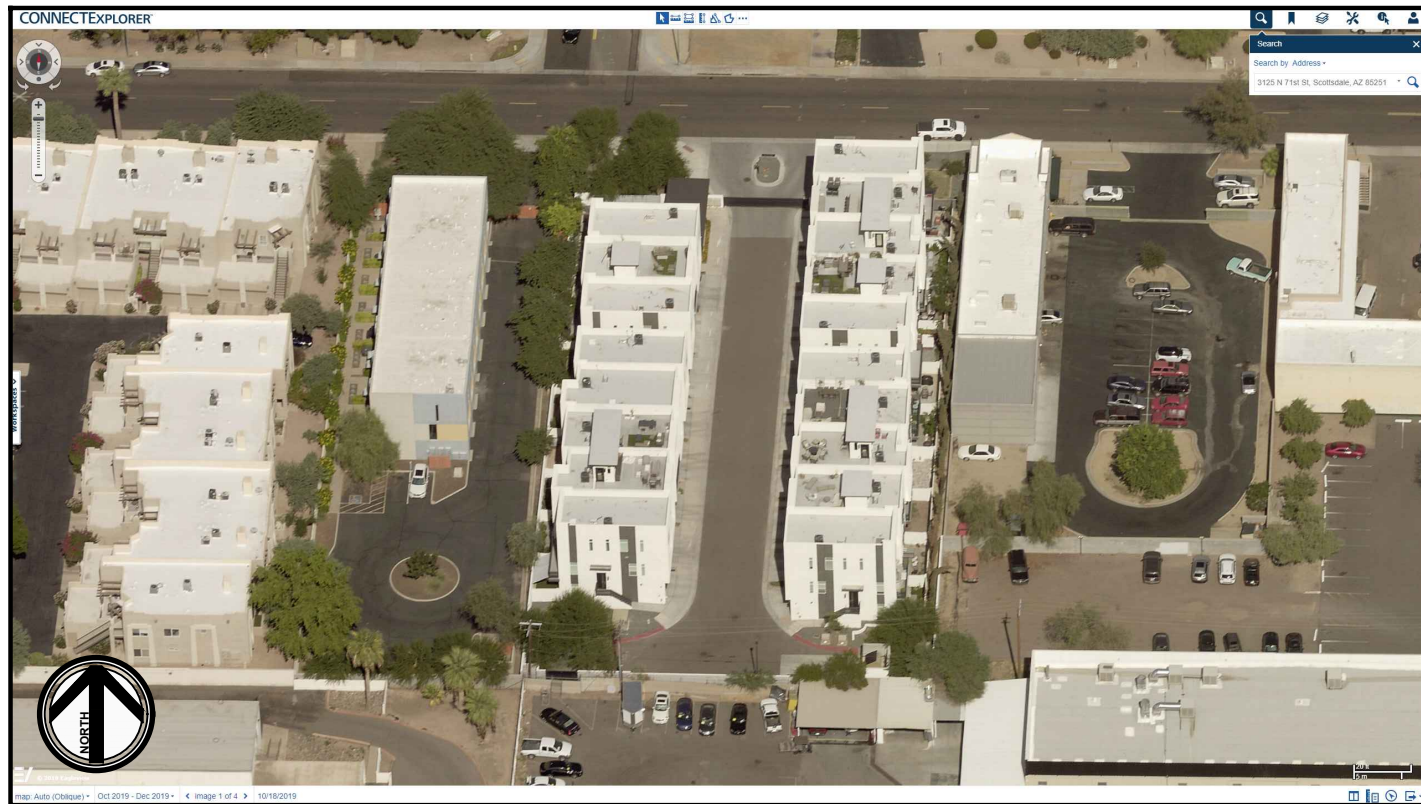
DV 001074



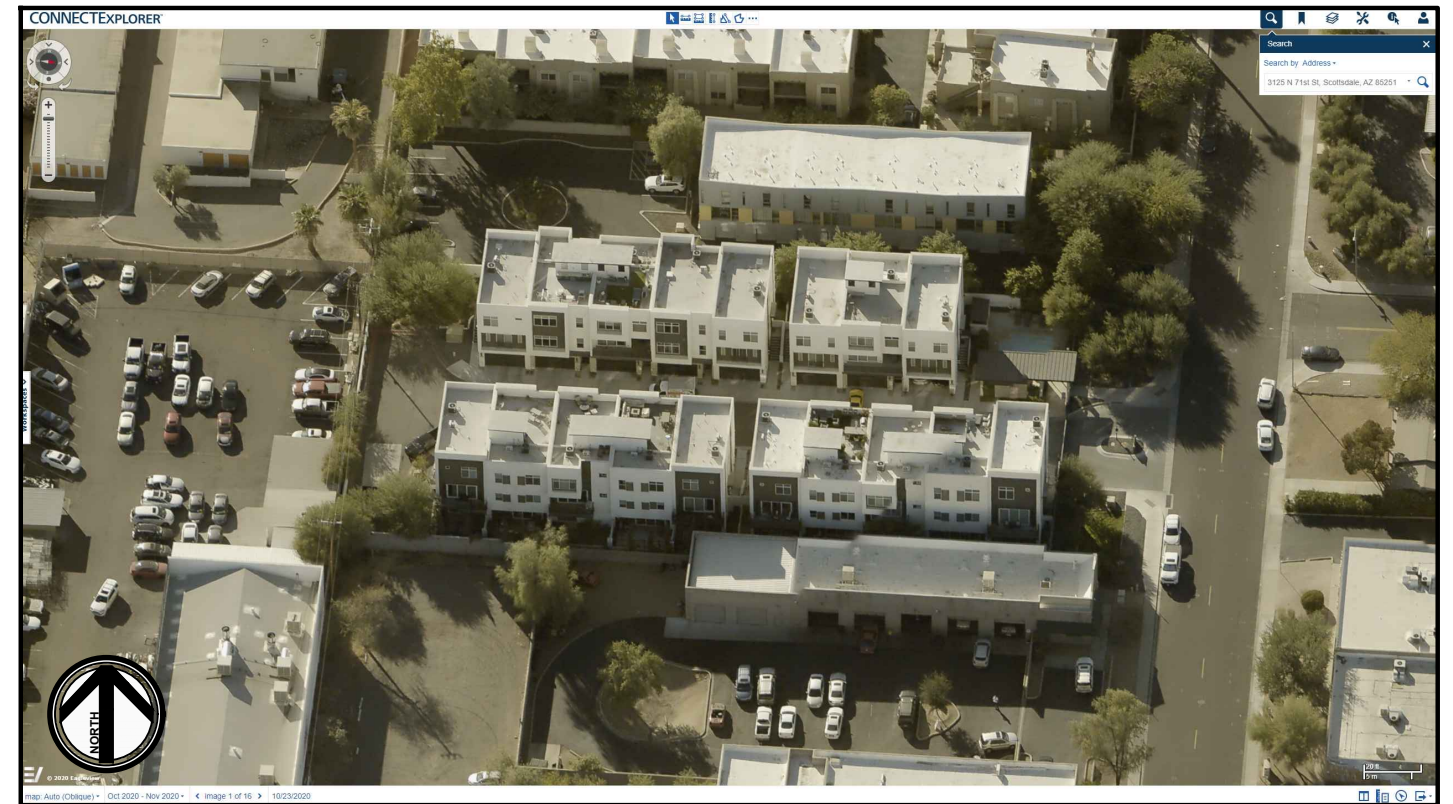
1) EAGLEVIEW PICTOMETRY - OBLIQUE IMAGE FACING SOUTH  
PHOTO DATE: OCTOBER 18, 2019



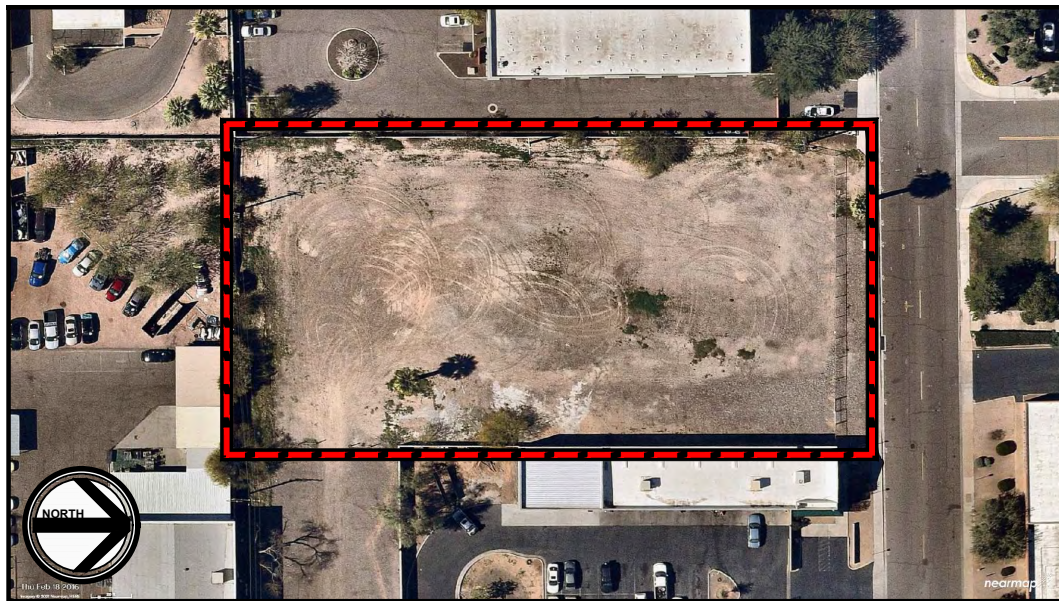
2) EAGLEVIEW PICTOMETRY - OBLIQUE IMAGE FACING EAST  
PHOTO DATE: OCTOBER 20, 2020



3) EAGLEVIEW PICTOMETRY - OBLIQUE IMAGE FACING NORTH  
PHOTO DATE: OCTOBER 18, 2019



4) EAGLEVIEW PICTOMETRY - OBLIQUE IMAGE FACING WEST  
PHOTO DATE: OCTOBER 23, 2020



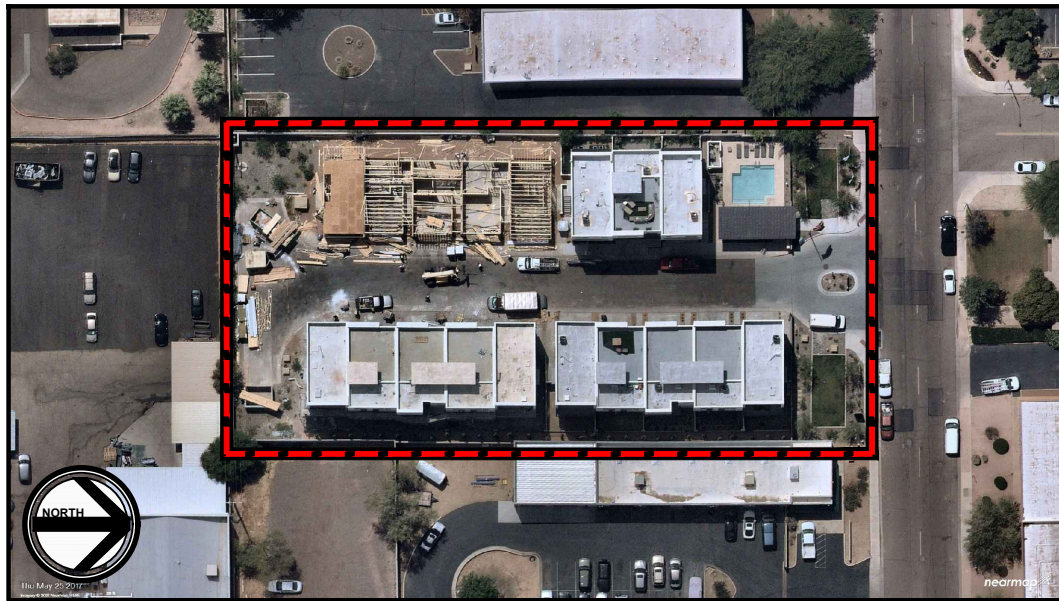
1) NEARMAP - AERIAL IMAGERY  
PHOTO DATE: FEBRUARY 18, 2016



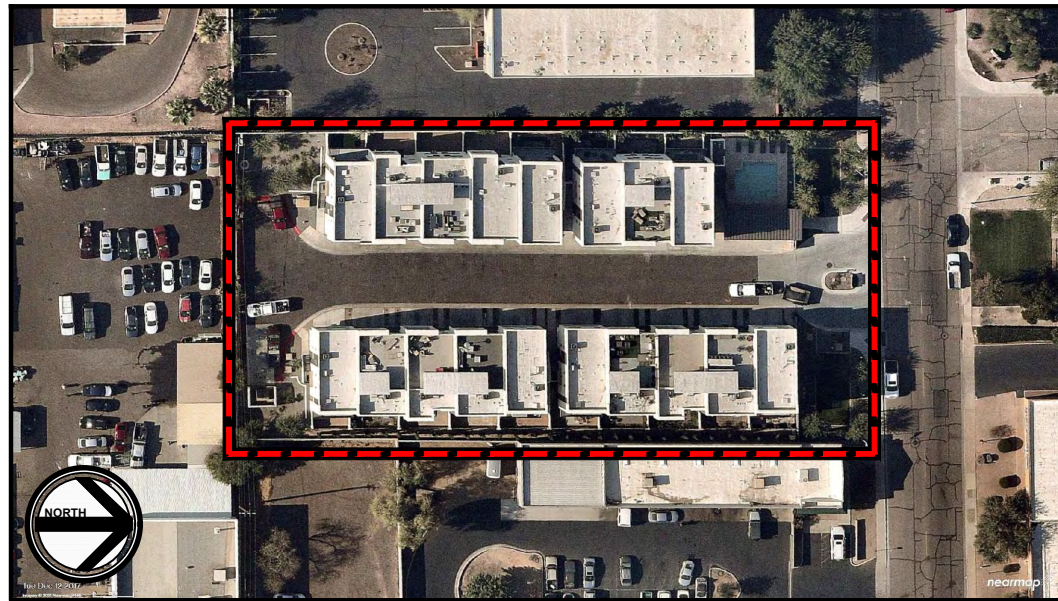
2) NEARMAP - AERIAL IMAGERY  
PHOTO DATE: AUGUST 14, 2016



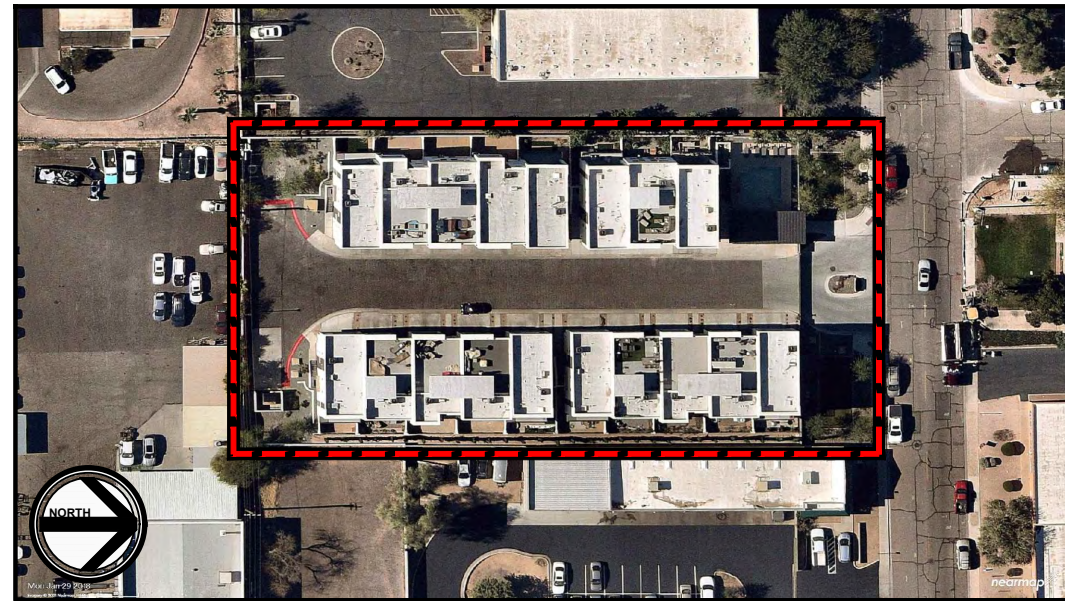
3) NEARMAP - AERIAL IMAGERY  
PHOTO DATE: JANUARY 18, 2017



4) NEARMAP - AERIAL IMAGERY  
PHOTO DATE: MAY 25, 2017



5) NEARMAP - AERIAL IMAGERY  
PHOTO DATE: DECEMBER 12, 2017



6) NEARMAP - AERIAL IMAGERY  
PHOTO DATE: JANUARY 29, 2018



# **HCCI Exhibit #1**

---

## **ASTM 2128 Except**



## Standard Guide for Evaluating Water Leakage of Building Walls<sup>1</sup>

This standard is issued under the fixed designation E 2128; the number immediately following the designation indicates the year of original adoption or, in the case of revision, the year of last revision. A number in parentheses indicates the year of last approval. A superscript epsilon ( $\epsilon$ ) indicates an editorial change since the last revision or reapproval.

### 1. Scope

1.1 This guide describes methods for determining and evaluating causes of water leakage of exterior walls. For this purpose, water penetration is considered leakage, and therefore problematic, if it exceeds the planned resistance or temporary retention and drainage capacity of the wall, is causing or is likely to cause premature deterioration of a building or its contents, or is adversely affecting the performance of other components. A wall is considered a system including its exterior and interior finishes, fenestration, structural components and components for maintaining the building interior environment.

1.2 Investigative techniques discussed may be intrusive, disruptive or destructive. It is the responsibility of the investigator to establish the limitations of use, to anticipate and advise of the destructive nature of some procedures, and to plan for patching and selective reconstruction as necessary.

1.3 *This practice does not purport to address all of the safety concerns, if any, associated with its use. Establish appropriate safety and health practices and determine the applicability of regulatory limitations prior to use. Awareness of safety and familiarity with safe procedures are particularly important for above-ground operations on the exterior of a building and destructive investigative procedures which typically are associated with the work described in this guide.*

### 2. Referenced Documents

#### 2.1 ASTM Standards:

- E 331 Test Method for Water Penetration of Exterior Windows, Curtain Walls and Doors by Uniform Static Air Pressure Difference<sup>2</sup>
- E 514 Test Method for Water Penetration and Leakage Through Masonry<sup>3</sup>
- E 547 Test Method for Water Penetration of Exterior Windows, Curtain Walls and Doors by Cyclic Static Air Pressure Differential<sup>2</sup>
- E 631 Terminology of Building Construction<sup>2</sup>

<sup>1</sup> This guide is under the jurisdiction of ASTM Committee E06 on Performance of Buildings and is the direct responsibility of Subcommittee E06.55 on Exterior Building Wall Systems.

Current edition approved Oct. 10, 2001. Published January 2002. Originally published as E 2128-01. Last previous edition E 2128-01.

<sup>2</sup> *Annual Book of ASTM Standards*, Vol 04.11.

<sup>3</sup> *Annual Book of ASTM Standards*, Vol 04.05.

E 1105 Test Method for Field Determination of Water Penetration of Installed Exterior Windows, Curtain Walls and Doors by Uniform or Cyclic Static Air Pressure Difference<sup>2</sup>

2.2 *American Architectural Manufacturers Association (AAMA) Standards:*

- 501.2 Field Check of Metal Storefronts, Curtain Walls and Sloped Glazing Systems for Water Leakage<sup>4</sup>
- 502 Specification for Field Testing of Windows and Sliding Doors<sup>4</sup>
- 503 Specification for Field Testing of Metal Storefronts, Curtain Walls and Sloped Glazing Systems<sup>4</sup>

### 3. Terminology

3.1 Refer to Terminology E 631.

3.2 *Definitions:*

3.2.1 *incidental water*—unplanned water infiltration that penetrates beyond the primary barrier and the flashing or secondary barrier system, of such limited volume that it can escape or evaporate without causing adverse consequences.

3.2.2 *water absorption*—a process in which a material takes in water through its pores and interstices and retains it wholly without transmission.

3.2.3 *water infiltration*—a process in which water passes through a material or between materials in a system and reaches a space that is not directly or intentionally exposed to the water source.

3.2.4 *water leakage*—water that is uncontrolled, exceeds the resistance, retention or discharge capacity of the system, or causes subsequent damage or premature deterioration.

3.2.5 *water penetration*—a process in which water gains access into a material or system by passing through the surface exposed to the water source.

3.2.6 *water permeation*—a process in which water enters, flows and spreads within and discharges from a material.

### 4. Significance and Use

4.1 This guide is intended to provide building professionals with a comprehensive methodology for evaluating water leakage through walls. It addresses the performance expectations and service history of a wall, the various components of a wall,

<sup>4</sup> Available from AAMA, 1827 Walden Office Square, Suite 104, Schaumburg, IL 60173-4268.



# **HCCI Exhibit #2**

---

## **Rainfall Data**

# PHOENIX AIRPORT, AZ

<https://wrcc.dri.edu/cgi-bin/cliMAIN.pl?az6481>

## Total of Precipitation (Inches)

File last updated on January 24, 2022

a = 1 day missing, b = 2 days missing, c = 3 days, ..etc.,

z = 26 or more days missing, A = Accumulations present

Long-term means based on columns; thus, the monthly row may not  
sum (or average) to the long-term annual value.

MAXIMUM ALLOWABLE NUMBER OF MISSING DAYS : 5

Individual Months not used for annual or monthly statistics if more than 5 days are missing.

Individual Years not used for annual statistics if any month in that year has more than 5 days missing.

YEAR(S)	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	ANN
1933	---- z	---- z	---- z	---- z	---- z	---- z	0.36	0.25	0.65	0.37	0.57	0	2.2 f
1934	0.48	0.91	0.1	0.13	0.11	0.06	0.17	1.65	0.57	0	0.65	2.1	6.93
1935	0.98	2.27	1.17	0.07	0.09	---- z	---- z	---- z	---- z	---- z	---- z	---- z	4.58 g
1936	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	0 l
1937	---- z	0.72	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	0	0.54	1.26 i
1938	0.51	0.68	0.77	0.02	0	0.36	0.08	0.97	0	0	0	1.62	5.01
1939	0.27	0.59	0.11	0.11	0	0	---- z	1.18	4.23	---- z	---- z	---- z	6.49 d
1940	---- z	---- z	0	---- z	0	0	0.33	0.54	1.47	1.05	0.29	3.94	7.62 c
1941	0.97	2.02	3.27 a	2.1	0.81	0	0.79	0.85	1.82	0.52	1.16	1.06	15.37
1942	0.36	0.21	0.22	0.69	0	0	1.14	1.29	0.07	0.6	0	0.29	4.87
1943	0.66	0.06	0.55	0.05	0.01	0.02	0.38	4.91	0.78	0.19	0	1.42	9.03
1944	0.37	2.23	0.99	0.49	0.94	0	0.65	0.07	0.23	0.33	1.12	1.28	8.7
1945	1.01	0.1	---- z	---- z	---- z	---- z	1.31	---- z	---- z	---- z	---- z	---- z	2.42 i
1946	---- z	0.15	0.02	0.02 u	0	0	---- z	---- z	---- z	---- z	---- z	---- z	0.17 h
1947	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	---- z	0.45	0.45 k
1948	0	1.31	0.16	0	0	0.08	0.91	0.41	0	0.6	0	0.68	4.15
1949	1.71	0.12	0.35	0.18	0.09	0.33	0.44	0.48	0.99	0.82	0.31	0.92	6.74
1950	0.41	1.15	0.26	0	0	0.11	0.76	0.37	0.49	0	0.04	0.03	3.62
1951	1.58	0.29	0.44	1.02	0.2	0	1.06	5.56	0.33	0.52	0.73	0.64	12.37
1952	0.56	0.29	2.2	1.94	0	0.06	0.54	1.11	0.23	0	3.04	0.68	10.65
1953	0.23	0.53	0.74	0.02	0.71	0	0.88	0.31	0	0	0.07	0.07	3.56
1954	0.88	0.58	1.22	0.02	0.11	0.02	0.36	0.55	0.44	0.12	0	0.01	4.31
1955	2.41	0.09	0	0	0.02	0.95	4.19	1.8	0	0.13	0.05	0.18	9.82
1956	0.67	0.64	0	0.03	0	0.01	0.92	0.46	0.02	0.06	0	0.01	2.82
1957	1.57	0.21	0.53	0.12	0.43	0.26	0.72	0.85	0	2.66	0.02	0.23	7.6
1958	0.07	1.15	1.94	0.89	0.08	0.05	0.31	0.72	2.25	0.5	0.16	0	8.12
1959	0.23	0.63	0	0.05	0	0	0.45	1.36	0.04	1.75	0.43	3.46	8.4
1960	0.85	0.04	0.57	0	0	0	0.25	0.82	0.12	0.67	0	0.07	3.39
1961	0.23	0.01	0.41	0	0	0	0.4	2.11	0.22	0.08	0.12	0.85	4.43
1962	1.2	0.83	0.5	0	0	0.12	0.1	0.25	0.39	0	0.03	0.48	3.9
1963	0.55	1.16	0.3	0.33	0	0	0.03	2.68	0	1.46	0.73	0	7.24

YEAR(S)	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	ANN
1964	0.22	0.01	0.37	0.1	0	0	0.6	1.29	1.8	0.17	0.35	1.09	6
1965	1.22	0.91	1.39	1.35	0.16	0.91	0.16	0.18	0.6	0.2	0.92	3.19	11.19
1966	0.35	0.95	0.34	0	0	0.22	0.09	2.17	2	0.25	0.38	0.52	7.27
1967	0.25	0	0.43	0.08	0.05	0.47	0.99	0.02	0.13	0.67	1.27	3.98	8.34
1968	0.19	1.2	1.04	0	0	0	1.7	0.59	0	0.35	0.91	0.69	6.67
1969	1.37	0.78	0.56	0.03	0.26	0	0.28	0.14	2.11	0.08	0.65	0.68	6.94
1970	0	0.3	2.26	0	0	0	0.48	1.02	2.85	0.44	0.02	0.26	7.63
1971	0.22	0.35	0	0.13	0	0	0.24	0.99	0.92	0.27	0	0.47	3.59
1972	0	0	0	0	0	1.7	0.72	1.2	0.28	4.4	1.01	1.56	10.87
1973	0.13	1.36	1.69	0.07	0.1	0	1.3	0	0	0	1.36	0	6.01
1974	0.57	0.02	1.37	0.01	0	0	0.84	1.15	1.07	2.12	0.44	0.59	8.18
1975	0.02	0.33	0.63	0.43	0	0	0.38	0	0.82	0.23	0.55	1.12	4.51
1976	0	0.47	0.4	0.67	1.06	0.09	1.48	0.12	1.69	0.7	0.43	0.85	7.96
1977	0.35	0.06	0.27	0.06	0.16	0.1	0.3	0.18	0.53	0.61	0	0.54	3.16
1978	2.33	2.21	2.14	0.2	0	0.01	1.44	1.79	0	0.35	2.3	2.46	15.23
1979	2.16	0.09	1.78	0.02	0.76	0.04	0.34	1.18	0.09	0.09	0.12	0.13	6.8
1980	1.58	2.09	0.86	0.44	0.21	0.03	0.56	0.06	0.13	0.02	0	0.08	6.06
1981	0.71	1.08	0.98	0.2	0.03	0	1.14	0.11	0.18	1.34	0.95	0	6.72
1982	0.81	0.67	1.3	0	0.5	0	0.43	1.97	0.12	0	2.5	1.64	9.94
1983	0.7	1.17	3.17	0.18	0	0	0.38	2.48	2.43	0.71	0.43	1.16	12.81
1984	0.31	0	0	0.91	0.18	0.18	5.15	0.87	3.36	0.31	0.71	2.93	14.91
1985	0.95	0.18	0.46	0.17	0	0	0.98	0.21	1.6	0.92	1.59	0.86	7.92
1986	0.07	1.19	1.58	0.01	0	0.01	1.19	1.27	0.47	0.41	0.03	1.38	7.61
1987	0.67	2.06	0.28	0.09	0.06	0.01	1.08	0.45	0.57	0.47	1.04	1.62	8.4
1988	0.9	0.23	0.17	1.09	0	0.02	0.87	0.63	0	2.38	0.78	0.14	7.21
1989	1.19	0	1.25	0	0	0	0.13	1.11	0.47	0.46	0.14	0.19	4.94
1990	0.8	0.7	0.35	0.17	0.16	0.04	1.05	2.7	1.11	0.04	0.15	0.46	7.73
1991	0.63	0.56	2.05	0	0	0	0.14	0.12	0.81	1.16	1.25	1.63	8.35
1992	1.62	0.9	2.49	0.49	1.05	0.04	2.95	1.3	0.03	0.26	0.03	3.08	14.24
1993	5.22	1.72	1.62	0	0.08	0.01	0	0.55	0.06	1.27	2.79	0.02	13.34
1994	0.13	0.54	1.36	0.09	0.39	0	0.25	0.02	1.74	0.55	0.68	3.03	8.78
1995	1.41	0.34	1.04	0.29	0.09	0	0	3.5	1.08	0	1.75	0.01	9.51
1996	0.24	1.03	0.55	0	0	0	1.04	0.34	0.54	0.37	0.23	0.02	4.36
1997	0.9	0.55	0.01	0.24	0	0	0.17	1.39	0.45	0.07	0.06	0.83	4.67
1998	0.35	2.93	1.31	0.43	0.04	0	1.94	1.05	0.58	1.03	0.19	0.68	10.53
1999	0.01	0.17	0.11	1.13	0	0	2.96	0.92	1.31	0	0	0	6.61
2000	0.01	0	2.98	0	0	0.34	0.28	0.58	0.01	3.17	0.5	0	7.87
2001	1.77	0.86	0.77	1.06	0.02	0.01	0.67	0.46	0	0.02	0.2	0.88	6.72
2002	0.05	0	0.08	0.06	0	0	1.18	0	0.5	0.37	0.42	0.16	2.82
2003	0.57	3.15	0.51	0.17	0	0	0.61	0.51	0.25	0.21	0.65	0.19	6.82
2004	0.82	1.02	1.28	0.9	0	0	0.59	0.36	0.15	0.78	0.52	1.56	7.98
2005	1.85	3.01	0.36	0.12	0	0	0.16	1.21	0.16	0.17	0	0	7.04
2006	0	0	1.56	0	0	0	1.29	1.26	0.78	0.22	0	0.34	5.45
2007	0.49	0.4	0.83	0.21	0	0	0.36	0.31	0.07	0.04	1.25	1.09	5.05
2008	1.58	0.39	0	0	0.45	0	2.15	3.55	0	0	0.49	0.97	9.58

YEAR(S)	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	ANN
2009	0.15	1.32	0	0.19	0.25	0.02	0.4	0.29	0.16	0	0.01	0.47	3.26
2010	2.43	1.36	1.09	0.04	0	0	1.97	0.38	0.13	0.66	0.01	1.07	9.14
2011	0.04	0.66	0.06	0.27	0.01	0	1.41	0.17	0.02	0.11	0.81	1.1	4.66
2012	0	0	0.25	0.08	0.03	0	0.96	1.45	0.59	0	0.05	0.87	4.28
2013	1.39	0.31	0.85	0.06	0	0	1.77	0.36	0.86	0	2.43	0.39	8.42
2014	0	0	0.99	0	0	0	0.06	1.17	5.11	0.13	0	0.91	8.37
2015	0.81	0.01	0.33	0.18	1.17	0.25	1.13	1.29	0.81	0.71	0.25	0.21	7.15
2016	1.31	0	0	0.51	0.05	0.01	0.89	1.27	0.32	0.2	0.68	0.95	6.19
2017	1.1	1.24	0.06	0	0.01	0	0.89	1.43	0	0	0	0.23	4.96
2018	0.21	0.52	0.04	0	0	0	0.7	1.5	0.43	5.35	0.35	0.19	9.29
2019	0.74	1.79	0.3	0.09	0.1	0	0.17	0.24	0.25	0	1.55	0.7	5.93
2020	0.19	1.34	1.94	0.08	0	0	0.1	0.9	0	0	0	0.45	5
2021	0.68	0	0.37	0.01	0	0.17	1.73	1.54	0.76	0.32	0	1.53	7.11
2022	0.12 h	----- z	----- z	----- z	----- z	----- z	----- z	----- z	----- z	----- z	----- z	----- z	0 l

**Period of Record Statistics**

<b>MEAN</b>	0.77	0.75	0.8	0.26	0.13	0.09	0.85	1.02	0.71	0.58	0.55	0.87	<b>7.36</b>
S.D.	0.8	0.76	0.79	0.42	0.27	0.24	0.87	1.02	0.96	0.92	0.69	0.94	2.93
SKEW	2.46	1.28	1.21	2.42	2.51	4.63	2.52	2.15	2.34	3.11	1.74	1.62	0.81
MAX	5.22	3.15	3.27	2.1	1.17	1.7	5.15	5.56	5.11	5.35	3.04	3.98	15.37
MIN	0	0	0	0	0	0	0	0	0	0	0	0	2.82
YRS	83	85	84	82	84	83	83	83	83	82	83	84	80

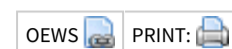


# **HCCI Exhibit #3**

---

## **Wage Data**

# Occupational Employment and Wage Statistics



## May 2020 Metropolitan and Nonmetropolitan Area Occupational Employment and Wage Estimates

### Phoenix-Mesa-Scottsdale, AZ

For metropolitan and nonmetropolitan area definitions used by the OEWS survey, see the [metropolitan and nonmetropolitan area definitions](#) page.

These estimates are calculated with data collected from employers in all industry sectors in Phoenix-Mesa-Scottsdale, AZ, a metropolitan statistical area in Arizona.

Additional information, including the hourly and annual 10th, 25th, 75th, and 90th percentile wages and the employment percent relative standard error, is available in the [downloadable XLS file](#).

[Links to OEWS estimates for other areas and states](#)

Major Occupational Groups in Phoenix-Mesa-Scottsdale, AZ (**Note**--clicking a link will scroll the page to the occupational group):

- 00-0000 [All Occupations](#)
- 11-0000 [Management Occupations](#)
- 13-0000 [Business and Financial Operations Occupations](#)
- 15-0000 [Computer and Mathematical Occupations](#)
- 17-0000 [Architecture and Engineering Occupations](#)
- 19-0000 [Life, Physical, and Social Science Occupations](#)
- 21-0000 [Community and Social Service Occupations](#)
- 23-0000 [Legal Occupations](#)
- 25-0000 [Educational Instruction and Library Occupations](#)
- 27-0000 [Arts, Design, Entertainment, Sports, and Media Occupations](#)
- 29-0000 [Healthcare Practitioners and Technical Occupations](#)
- 31-0000 [Healthcare Support Occupations](#)
- 33-0000 [Protective Service Occupations](#)
- 35-0000 [Food Preparation and Serving Related Occupations](#)
- 37-0000 [Building and Grounds Cleaning and Maintenance Occupations](#)
- 39-0000 [Personal Care and Service Occupations](#)
- 41-0000 [Sales and Related Occupations](#)
- 43-0000 [Office and Administrative Support Occupations](#)
- 45-0000 [Farming, Fishing, and Forestry Occupations](#)
- 47-0000 [Construction and Extraction Occupations](#)
- 49-0000 [Installation, Maintenance, and Repair Occupations](#)
- 51-0000 [Production Occupations](#)
- 53-0000 [Transportation and Material Moving Occupations](#)

To sort this table by a different column, click on the column header

Display  records

Text search table:

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
<b>00-0000</b>	<b>All Occupations</b>	total	2,108,810	0.6%	1000.000	1.00	\$19.86	\$26.38	\$54,870	0.8%
<b>11-0000</b>	<b><a href="#">Management Occupations</a></b>	major	124,560	1.5%	59.067	1.03	\$50.02	\$57.40	\$119,390	1.0%
11-1011	<a href="#">Chief Executives</a>	detail	2,160	7.1%	1.025	0.70	\$94.31	\$99.18	\$206,290	3.3%
11-1021	<a href="#">General and Operations Managers</a>	detail	38,270	3.2%	18.148	1.08	\$48.09	\$58.07	\$120,780	1.5%
11-1031	<a href="#">Legislators</a>	detail	360	8.1%	0.173	0.47	(4)	(4)	\$49,460	8.0%
11-2011	<a href="#">Advertising and Promotions Managers</a>	detail	(8)	(8)	(8)	(8)	\$47.38	\$65.61	\$136,480	17.7%
11-2021	<a href="#">Marketing Managers</a>	detail	3,880	5.3%	1.838	0.95	\$56.55	\$64.49	\$134,140	3.1%
11-2022	<a href="#">Sales Managers</a>	detail	8,380	5.6%	3.974	1.42	\$55.09	\$62.60	\$130,200	4.6%
11-2030	<a href="#">Public Relations and Fundraising Managers</a>	broad	950	5.9%	0.453	0.78	\$49.19	\$55.83	\$116,120	3.3%
11-3010	<a href="#">Administrative Services and Facilities Managers</a>	broad	6,140	3.8%	2.913	1.32	\$44.58	\$49.53	\$103,020	2.2%
11-3021	<a href="#">Computer and Information Systems Managers</a>	detail	8,440	4.3%	4.003	1.22	\$68.58	\$70.43	\$146,490	1.4%
11-3031	<a href="#">Financial Managers</a>	detail	10,290	3.5%	4.880	1.04	\$58.22	\$64.55	\$134,270	1.5%
11-3051	<a href="#">Industrial Production Managers</a>	detail	2,160	5.4%	1.023	0.79	\$53.02	\$56.52	\$117,560	1.8%
11-3061	<a href="#">Purchasing Managers</a>	detail	1,090	5.6%	0.518	1.02	\$58.49	\$61.23	\$127,360	2.2%
11-3071	<a href="#">Transportation, Storage, and Distribution Managers</a>	detail	2,040	6.0%	0.968	1.02	\$44.53	\$47.97	\$99,770	2.2%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
11-3111	<a href="#">Compensation and Benefits Managers</a>	detail	220	8.0%	0.107	0.91	\$53.53	\$55.60	\$115,640	2.4%
11-3121	<a href="#">Human Resources Managers</a>	detail	2,470	5.3%	1.169	1.04	\$52.20	\$57.77	\$120,160	1.7%
11-3131	<a href="#">Training and Development Managers</a>	detail	830	5.1%	0.396	1.42	\$46.23	\$49.90	\$103,790	1.9%
11-9013	<a href="#">Farmers, Ranchers, and Other Agricultural Managers</a>	detail	40	29.5%	0.018	0.45	\$38.98	\$40.07	\$83,350	9.0%
11-9021	<a href="#">Construction Managers</a>	detail	4,540	7.9%	2.152	1.05	\$48.63	\$52.82	\$109,860	3.3%
11-9031	<a href="#">Education and Childcare Administrators, Preschool and Daycare</a>	detail	670	11.5%	0.317	0.95	\$19.43	\$22.02	\$45,800	4.2%
11-9032	<a href="#">Education Administrators, Kindergarten through Secondary</a>	detail	2,870	2.6%	1.359	0.72	(4)	(4)	\$85,780	1.9%
11-9033	<a href="#">Education Administrators, Postsecondary</a>	detail	1,780	6.2%	0.843	0.83	\$48.30	\$56.57	\$117,670	5.1%
11-9039	<a href="#">Education Administrators, All Other</a>	detail	170	21.1%	0.082	0.26	\$39.11	\$44.08	\$91,690	7.0%
11-9041	<a href="#">Architectural and Engineering Managers</a>	detail	3,350	6.3%	1.589	1.13	\$73.42	\$76.88	\$159,910	2.5%
11-9051	<a href="#">Food Service Managers</a>	detail	3,050	11.0%	1.448	1.02	\$26.93	\$29.58	\$61,520	3.3%
11-9071	<a href="#">Gambling Managers</a>	detail	80	24.3%	0.037	1.58	(8)	(8)	(8)	(8)
11-9081	<a href="#">Lodging Managers</a>	detail	500	27.1%	0.236	1.03	\$26.33	\$31.85	\$66,240	10.4%
11-9111	<a href="#">Medical and Health Services Managers</a>	detail	5,810	3.7%	2.755	0.95	\$52.00	\$60.98	\$126,850	2.5%
11-9121	<a href="#">Natural Sciences Managers</a>	detail	340	8.6%	0.159	0.29	\$49.99	\$56.21	\$116,920	4.2%
11-9131	<a href="#">Postmasters and Mail Superintendents</a>	detail	40	0.0%	0.019	0.19	\$44.80	\$46.22	\$96,130	2.9%
11-9141	<a href="#">Property, Real Estate, and Community Association Managers</a>	detail	5,290	10.1%	2.507	1.59	\$25.59	\$31.80	\$66,150	7.6%
11-9151	<a href="#">Social and Community Service Managers</a>	detail	1,980	5.0%	0.938	0.84	\$33.30	\$34.88	\$72,540	1.5%
11-9171	<a href="#">Funeral Home Managers</a>	detail	70	34.1%	0.032	0.45	\$30.57	\$32.28	\$67,140	8.7%
11-9198	<a href="#">Personal Service Managers, All Other; Entertainment and Recreation Managers, Except Gambling; and Managers, All Other</a>	detail	6,120	3.0%	2.900	0.86	\$54.83	\$58.12	\$120,900	1.2%
<b>13-0000</b>	<b><a href="#">Business and Financial Operations Occupations</a></b>	major	148,690	2.1%	70.508	1.17	\$31.10	\$34.32	\$71,370	1.1%
13-1011	<a href="#">Agents and Business Managers of Artists, Performers, and Athletes</a>	detail	(8)	(8)	(8)	(8)	\$29.09	\$42.09	\$87,540	15.5%
13-1020	<a href="#">Buyers and Purchasing Agents</a>	broad	6,720	5.4%	3.185	1.06	\$31.50	\$34.72	\$72,230	1.8%
13-1031	<a href="#">Claims Adjusters, Examiners, and Investigators</a>	detail	12,280	6.6%	5.823	2.82	\$26.00	\$27.83	\$57,880	3.1%
13-1032	<a href="#">Insurance Appraisers, Auto Damage</a>	detail	(8)	(8)	(8)	(8)	\$29.34	\$30.03	\$62,450	2.1%
13-1041	<a href="#">Compliance Officers</a>	detail	5,640	4.1%	2.673	1.14	\$31.13	\$33.32	\$69,310	2.2%
13-1051	<a href="#">Cost Estimators</a>	detail	3,770	6.7%	1.788	1.25	\$34.03	\$35.28	\$73,390	2.6%
13-1071	<a href="#">Human Resources Specialists</a>	detail	11,910	5.0%	5.647	1.21	\$28.01	\$30.99	\$64,470	1.8%
13-1075	<a href="#">Labor Relations Specialists</a>	detail	380	39.0%	0.182	0.36	\$39.50	\$38.87	\$80,840	5.9%
13-1081	<a href="#">Logisticians</a>	detail	2,570	8.1%	1.220	0.92	\$32.78	\$35.73	\$74,320	2.9%
13-1111	<a href="#">Management Analysts</a>	detail	11,510	6.2%	5.460	1.03	\$37.79	\$42.22	\$87,820	4.1%
13-1121	<a href="#">Meeting, Convention, and Event Planners</a>	detail	1,480	16.5%	0.701	0.89	\$24.43	\$28.64	\$59,580	7.9%
13-1131	<a href="#">Fundraisers</a>	detail	1,130	23.1%	0.537	0.91	\$27.19	\$27.27	\$56,720	4.1%
13-1141	<a href="#">Compensation, Benefits, and Job Analysis Specialists</a>	detail	1,870	27.4%	0.884	1.40	\$29.64	\$31.93	\$66,420	1.7%
13-1151	<a href="#">Training and Development Specialists</a>	detail	8,410	4.4%	3.986	1.74	\$26.89	\$29.32	\$60,990	2.1%
13-1161	<a href="#">Market Research Analysts and Marketing Specialists</a>	detail	12,890	6.8%	6.112	1.23	\$28.24	\$31.08	\$64,660	3.1%
13-1198	<a href="#">Project Management Specialists and Business Operations Specialists, All Other</a>	detail	20,210	3.6%	9.584	0.92	\$37.56	\$40.12	\$83,460	1.5%
13-2011	<a href="#">Accountants and Auditors</a>	detail	18,440	4.7%	8.744	0.95	\$33.71	\$36.29	\$75,480	1.9%
13-2020	<a href="#">Property Appraisers and Assessors</a>	broad	820	24.2%	0.390	0.97	\$23.78	\$26.51	\$55,130	1.9%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
13-2031	<a href="#">Budget Analysts</a>	detail	700	3.9%	0.331	0.93	\$32.18	\$34.26	\$71,260	3.2%
13-2041	<a href="#">Credit Analysts</a>	detail	1,480	13.2%	0.701	1.35	\$28.84	\$34.02	\$70,760	4.2%
13-2052	<a href="#">Personal Financial Advisors</a>	detail	3,530	11.4%	1.672	1.07	\$39.26	\$45.73	\$95,130	6.3%
13-2053	<a href="#">Insurance Underwriters</a>	detail	1,690	9.9%	0.800	1.09	\$34.07	\$36.94	\$76,830	3.3%
13-2061	<a href="#">Financial Examiners</a>	detail	2,370	5.8%	1.125	2.29	\$27.76	\$30.99	\$64,450	5.4%
13-2071	<a href="#">Credit Counselors</a>	detail	1,690	19.5%	0.802	3.63	\$19.33	\$19.71	\$40,990	4.2%
13-2072	<a href="#">Loan Officers</a>	detail	8,650	7.5%	4.101	1.85	\$25.16	\$28.31	\$58,890	4.3%
13-2081	<a href="#">Tax Examiners and Collectors, and Revenue Agents</a>	detail	250	9.7%	0.118	0.31	\$38.96	\$38.84	\$80,790	3.8%
13-2082	<a href="#">Tax Preparers</a>	detail	1,000	37.9%	0.473	1.05	\$21.01	\$26.72	\$55,580	11.0%
13-2098	<a href="#">Financial and Investment Analysts, Financial Risk Specialists, and Financial Specialists, All Other</a>	detail	6,040	7.6%	2.866	0.87	\$36.85	\$39.40	\$81,940	2.4%
<b>15-0000</b>	<b><a href="#">Computer and Mathematical Occupations</a></b>	major	81,950	2.8%	38.861	1.18	\$40.78	\$42.49	\$88,380	1.3%
15-1211	<a href="#">Computer Systems Analysts</a>	detail	10,040	7.7%	4.760	1.15	\$43.43	\$44.56	\$92,680	1.3%
15-1212	<a href="#">Information Security Analysts</a>	detail	3,560	9.7%	1.687	1.70	\$48.13	\$49.01	\$101,930	1.8%
15-1221	<a href="#">Computer and Information Research Scientists</a>	detail	50	33.5%	0.023	0.11	\$63.24	\$70.13	\$145,870	9.3%
15-1231	<a href="#">Computer Network Support Specialists</a>	detail	3,540	8.9%	1.680	1.27	\$26.31	\$28.18	\$58,610	2.6%
15-1232	<a href="#">Computer User Support Specialists</a>	detail	15,150	4.5%	7.185	1.57	\$23.10	\$25.78	\$53,630	2.4%
15-1241	<a href="#">Computer Network Architects</a>	detail	3,470	11.7%	1.647	1.44	\$53.07	\$54.33	\$113,010	1.6%
15-1244	<a href="#">Network and Computer Systems Administrators</a>	detail	5,820	5.6%	2.762	1.13	\$39.50	\$42.05	\$87,460	1.4%
15-1245	<a href="#">Database Administrators and Architects</a>	detail	2,140	7.7%	1.013	1.05	\$49.40	\$49.70	\$103,380	2.0%
15-1251	<a href="#">Computer Programmers</a>	detail	1,880	7.5%	0.893	0.70	\$43.25	\$44.18	\$91,890	3.2%
15-1256	<a href="#">Software Developers and Software Quality Assurance Analysts and Testers</a>	detail	26,570	4.6%	12.598	1.19	\$49.03	\$50.61	\$105,270	2.2%
15-1257	<a href="#">Web Developers and Digital Interface Designers</a>	detail	2,510	6.8%	1.192	1.06	\$32.71	\$34.47	\$71,700	5.9%
15-1299	<a href="#">Computer Occupations, All Other</a>	detail	3,870	6.0%	1.834	0.70	\$38.58	\$40.94	\$85,150	1.7%
15-2011	<a href="#">Actuaries</a>	detail	140	18.2%	0.067	0.42	\$48.58	\$51.58	\$107,290	4.5%
15-2031	<a href="#">Operations Research Analysts</a>	detail	1,410	9.1%	0.671	0.97	\$37.04	\$39.51	\$82,170	3.4%
15-2041	<a href="#">Statisticians</a>	detail	430	20.4%	0.205	0.73	\$45.79	\$46.43	\$96,560	2.1%
15-2098	<a href="#">Data Scientists and Mathematical Science Occupations, All Other</a>	detail	1,350	23.9%	0.640	1.49	\$54.03	\$52.40	\$109,000	2.2%
<b>17-0000</b>	<b><a href="#">Architecture and Engineering Occupations</a></b>	major	40,890	4.3%	19.390	1.07	\$39.13	\$42.85	\$89,130	2.3%
17-1011	<a href="#">Architects, Except Landscape and Naval</a>	detail	900	27.3%	0.427	0.57	\$39.83	\$39.87	\$82,920	9.3%
17-1012	<a href="#">Landscape Architects</a>	detail	450	35.5%	0.216	1.45	\$29.77	\$32.25	\$67,070	5.2%
17-1021	<a href="#">Cartographers and Photogrammetrists</a>	detail	120	2.5%	0.056	0.62	\$30.76	\$32.39	\$67,370	4.0%
17-1022	<a href="#">Surveyors</a>	detail	700	13.0%	0.334	1.06	\$28.89	\$30.54	\$63,520	4.1%
17-2011	<a href="#">Aerospace Engineers</a>	detail	1,730	24.0%	0.823	1.89	\$59.49	\$62.08	\$129,120	4.6%
17-2031	<a href="#">Bioengineers and Biomedical Engineers</a>	detail	220	10.6%	0.102	0.76	\$43.36	\$46.64	\$97,010	3.8%
17-2041	<a href="#">Chemical Engineers</a>	detail	130	42.5%	0.063	0.34	(8)	(8)	(8)	(8)
17-2051	<a href="#">Civil Engineers</a>	detail	4,270	7.7%	2.027	0.94	\$37.93	\$40.43	\$84,090	3.0%
17-2071	<a href="#">Electrical Engineers</a>	detail	3,400	20.6%	1.614	1.21	\$45.09	\$48.56	\$101,000	2.5%
17-2072	<a href="#">Electronics Engineers, Except Computer</a>	detail	2,470	7.4%	1.170	1.33	\$54.89	\$56.31	\$117,130	2.5%
17-2081	<a href="#">Environmental Engineers</a>	detail	1,000	19.6%	0.476	1.32	\$42.56	\$45.10	\$93,810	5.2%
17-2111	<a href="#">Health and Safety Engineers, Except Mining Safety Engineers and Inspectors</a>	detail	230	7.6%	0.111	0.65	\$39.44	\$43.63	\$90,760	4.8%
17-2112	<a href="#">Industrial Engineers</a>	detail	4,840	3.4%	2.297	1.10	\$46.90	\$48.07	\$99,990	1.8%
17-2131	<a href="#">Materials Engineers</a>	detail	290	13.6%	0.137	0.77	\$53.08	\$52.90	\$110,020	1.6%
17-2141	<a href="#">Mechanical Engineers</a>	detail	3,570	6.6%	1.695	0.80	\$47.77	\$48.58	\$101,040	1.6%
17-2151	<a href="#">Mining and Geological Engineers, Including Mining Safety Engineers</a>	detail	220	35.4%	0.104	2.30	\$41.55	\$39.97	\$83,130	3.8%
17-3011	<a href="#">Architectural and Civil Drafters</a>	detail	2,160	9.9%	1.023	1.43	\$28.93	\$29.05	\$60,430	2.4%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
17-3012	<a href="#">Electrical and Electronics Drafters</a>	detail	1,410	21.4%	0.670	4.05	\$29.68	\$30.60	\$63,660	7.6%
17-3013	<a href="#">Mechanical Drafters</a>	detail	650	19.9%	0.307	0.83	\$31.58	\$32.61	\$67,830	3.2%
17-3019	<a href="#">Drafters, All Other</a>	detail	210	24.7%	0.100	1.00	\$23.24	\$25.47	\$52,980	4.6%
17-3021	<a href="#">Aerospace Engineering and Operations Technologists and Technicians</a>	detail	840	47.4%	0.399	4.67	\$29.13	\$30.70	\$63,860	5.0%
17-3022	<a href="#">Civil Engineering Technologists and Technicians</a>	detail	1,270	21.9%	0.604	1.25	\$26.68	\$26.40	\$54,910	2.9%
17-3023	<a href="#">Electrical and Electronic Engineering Technologists and Technicians</a>	detail	2,550	15.1%	1.210	1.46	\$31.56	\$32.14	\$66,840	2.4%
17-3025	<a href="#">Environmental Engineering Technologists and Technicians</a>	detail	250	23.5%	0.116	0.95	\$25.58	\$25.54	\$53,120	3.7%
17-3026	<a href="#">Industrial Engineering Technologists and Technicians</a>	detail	1,130	8.1%	0.535	1.18	\$29.35	\$30.26	\$62,930	2.1%
17-3027	<a href="#">Mechanical Engineering Technologists and Technicians</a>	detail	840	11.5%	0.397	1.39	\$30.06	\$30.71	\$63,880	3.8%
17-3031	<a href="#">Surveying and Mapping Technicians</a>	detail	620	18.5%	0.293	0.76	\$23.19	\$25.14	\$52,280	3.7%
17-3098	<a href="#">Calibration Technologists and Technicians and Engineering Technologists and Technicians, Except Drafters, All Other</a>	detail	1,210	21.8%	0.572	0.86	\$22.73	\$24.68	\$51,330	3.2%
<b>19-0000</b>	<b><a href="#">Life, Physical, and Social Science Occupations</a></b>	major	11,200	3.5%	5.309	0.57	\$29.32	\$32.36	\$67,300	1.6%
19-1012	<a href="#">Food Scientists and Technologists</a>	detail	50	6.4%	0.023	0.24	\$31.40	\$35.22	\$73,260	3.4%
19-1013	<a href="#">Soil and Plant Scientists</a>	detail	(8)	(8)	(8)	(8)	\$36.60	\$37.31	\$77,610	4.5%
19-1021	<a href="#">Biochemists and Biophysicists</a>	detail	40	17.2%	0.021	0.09	\$44.53	\$51.00	\$106,080	11.6%
19-1022	<a href="#">Microbiologists</a>	detail	50	29.9%	0.022	0.16	(8)	(8)	(8)	(8)
19-1029	<a href="#">Biological Scientists, All Other</a>	detail	150	14.0%	0.071	0.24	\$40.38	\$42.23	\$87,830	4.7%
19-1031	<a href="#">Conservation Scientists</a>	detail	120	17.5%	0.059	0.37	\$31.50	\$31.82	\$66,200	5.8%
19-1032	<a href="#">Foresters</a>	detail	50	0.0%	0.022	0.33	\$24.30	\$25.71	\$53,480	3.7%
19-1041	<a href="#">Epidemiologists</a>	detail	110	7.1%	0.050	0.93	\$28.56	\$28.18	\$58,620	3.3%
19-1042	<a href="#">Medical Scientists, Except Epidemiologists</a>	detail	710	15.2%	0.339	0.37	\$39.31	\$45.25	\$94,120	5.5%
19-2012	<a href="#">Physicists</a>	detail	40	6.9%	0.021	0.18	(8)	(8)	(8)	(8)
19-2021	<a href="#">Atmospheric and Space Scientists</a>	detail	50	7.5%	0.021	0.29	\$44.59	\$45.79	\$95,250	3.2%
19-2031	<a href="#">Chemists</a>	detail	290	9.3%	0.139	0.23	\$30.91	\$33.32	\$69,300	3.7%
19-2032	<a href="#">Materials Scientists</a>	detail	50	12.2%	0.024	0.49	\$43.23	\$45.15	\$93,910	3.7%
19-2041	<a href="#">Environmental Scientists and Specialists, Including Health</a>	detail	870	9.3%	0.411	0.68	\$28.23	\$30.80	\$64,070	3.9%
19-2042	<a href="#">Geoscientists, Except Hydrologists and Geographers</a>	detail	180	26.2%	0.087	0.43	\$38.21	\$40.05	\$83,310	4.3%
19-2043	<a href="#">Hydrologists</a>	detail	110	0.9%	0.052	1.16	\$35.46	\$37.26	\$77,510	1.9%
19-2099	<a href="#">Physical Scientists, All Other</a>	detail	90	0.0%	0.044	0.32	\$69.28	\$66.37	\$138,050	1.7%
19-3011	<a href="#">Economists</a>	detail	100	9.2%	0.048	0.38	\$38.81	\$41.33	\$85,960	3.0%
19-3022	<a href="#">Survey Researchers</a>	detail	120	32.3%	0.057	0.77	\$30.19	\$29.73	\$61,830	9.6%
19-3031	<a href="#">Clinical, Counseling, and School Psychologists</a>	detail	1,860	10.9%	0.882	1.10	\$33.68	\$33.29	\$69,240	3.8%
19-3039	<a href="#">Psychologists, All Other</a>	detail	120	12.1%	0.058	0.54	\$49.99	\$46.27	\$96,240	3.0%
19-3051	<a href="#">Urban and Regional Planners</a>	detail	480	6.2%	0.226	0.82	\$34.50	\$35.89	\$74,660	1.8%
19-3091	<a href="#">Anthropologists and Archeologists</a>	detail	200	29.4%	0.095	1.84	\$28.40	\$30.43	\$63,300	4.1%
19-3092	<a href="#">Geographers</a>	detail	30	0.0%	0.016	1.54	\$32.05	\$33.87	\$70,450	4.0%
19-3094	<a href="#">Political Scientists</a>	detail	50	32.3%	0.023	0.54	\$46.77	\$48.01	\$99,860	7.0%
19-3099	<a href="#">Social Scientists and Related Workers, All Other</a>	detail	120	0.8%	0.058	0.23	\$41.45	\$41.75	\$86,840	2.8%
19-4010	<a href="#">Agricultural and Food Science Technicians</a>	broad	170	35.7%	0.079	0.50	\$20.63	\$21.20	\$44,090	4.2%
19-4021	<a href="#">Biological Technicians</a>	detail	590	16.9%	0.278	0.48	\$20.90	\$21.66	\$45,060	1.4%
19-4031	<a href="#">Chemical Technicians</a>	detail	240	13.6%	0.115	0.25	\$22.25	\$24.06	\$50,050	5.7%
19-4042	<a href="#">Environmental Science and Protection Technicians, Including Health</a>	detail	530	28.8%	0.253	1.10	\$22.14	\$21.83	\$45,400	3.3%
19-4045	<a href="#">Geological and Hydrologic Technicians</a>	detail	220	32.7%	0.103	0.92	\$18.53	\$20.66	\$42,980	4.7%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
19-4061	<a href="#">Social Science Research Assistants</a>	detail	640	6.8%	0.303	1.19	\$21.12	\$22.57	\$46,950	2.8%
19-4071	<a href="#">Forest and Conservation Technicians</a>	detail	120	2.2%	0.058	0.27	\$18.42	\$20.63	\$42,900	3.1%
19-4092	<a href="#">Forensic Science Technicians</a>	detail	470	0.3%	0.221	1.85	\$29.56	\$31.24	\$64,980	2.1%
19-4099	<a href="#">Life, Physical, and Social Science Technicians, All Other</a>	detail	290	24.5%	0.137	0.31	\$20.39	\$23.84	\$49,580	10.2%
19-5011	<a href="#">Occupational Health and Safety Specialists</a>	detail	1,370	7.1%	0.649	0.94	\$34.21	\$35.39	\$73,610	2.2%
19-5012	<a href="#">Occupational Health and Safety Technicians</a>	detail	160	28.4%	0.078	0.52	\$20.24	\$22.45	\$46,700	3.6%
<b>21-0000</b>	<b><a href="#">Community and Social Service Occupations</a></b>	major	32,070	3.2%	15.207	0.95	\$21.66	\$23.11	\$48,060	1.6%
21-1012	<a href="#">Educational, Guidance, and Career Counselors and Advisors</a>	detail	6,440	8.2%	3.056	1.45	\$25.19	\$25.67	\$53,400	2.1%
21-1013	<a href="#">Marriage and Family Therapists</a>	detail	440	16.4%	0.208	0.47	\$23.48	\$25.11	\$52,230	11.2%
21-1015	<a href="#">Rehabilitation Counselors</a>	detail	1,580	18.3%	0.751	1.04	\$16.79	\$17.08	\$35,520	2.2%
21-1018	<a href="#">Substance Abuse, Behavioral Disorder, and Mental Health Counselors</a>	detail	4,450	5.9%	2.112	1.00	\$22.32	\$23.06	\$47,970	1.9%
21-1019	<a href="#">Counselors, All Other</a>	detail	220	1.3%	0.107	0.54	\$19.95	\$21.53	\$44,780	2.2%
21-1021	<a href="#">Child, Family, and School Social Workers</a>	detail	4,930	3.8%	2.338	0.99	\$20.41	\$21.43	\$44,580	1.9%
21-1022	<a href="#">Healthcare Social Workers</a>	detail	2,530	12.1%	1.201	0.95	\$28.91	\$29.63	\$61,630	3.1%
21-1023	<a href="#">Mental Health and Substance Abuse Social Workers</a>	detail	2,460	6.1%	1.167	1.39	\$18.86	\$20.33	\$42,290	2.0%
21-1029	<a href="#">Social Workers, All Other</a>	detail	690	5.5%	0.329	0.76	\$27.52	\$28.60	\$59,480	6.9%
21-1091	<a href="#">Health Education Specialists</a>	detail	1,110	17.3%	0.524	1.26	\$21.90	\$24.58	\$51,130	3.4%
21-1093	<a href="#">Social and Human Service Assistants</a>	detail	4,330	6.6%	2.053	0.71	\$17.06	\$17.78	\$36,980	1.4%
21-1094	<a href="#">Community Health Workers</a>	detail	650	15.3%	0.307	0.73	\$21.81	\$23.13	\$48,100	2.4%
21-1099	<a href="#">Community and Social Service Specialists, All Other</a>	detail	330	19.3%	0.155	0.25	\$19.83	\$21.81	\$45,370	7.1%
21-2011	<a href="#">Clergy</a>	detail	270	9.7%	0.130	0.35	\$27.52	\$27.82	\$57,860	2.2%
21-2021	<a href="#">Directors, Religious Activities and Education</a>	detail	110	13.5%	0.054	0.38	\$20.82	\$23.59	\$49,070	5.4%
<b>23-0000</b>	<b><a href="#">Legal Occupations</a></b>	major	16,300	5.0%	7.730	0.93	\$34.64	\$46.99	\$97,750	4.6%
23-1011	<a href="#">Lawyers</a>	detail	7,670	9.2%	3.636	0.77	\$55.61	\$68.90	\$143,300	6.1%
23-1021	<a href="#">Administrative Law Judges, Adjudicators, and Hearing Officers</a>	detail	190	0.2%	0.092	0.88	\$45.43	\$46.17	\$96,040	5.6%
23-1022	<a href="#">Arbitrators, Mediators, and Conciliators</a>	detail	150	7.0%	0.073	1.75	(8)	(8)	(8)	(8)
23-1023	<a href="#">Judges, Magistrate Judges, and Magistrates</a>	detail	430	1.4%	0.204	0.99	\$63.34	\$53.87	\$112,050	6.2%
23-2011	<a href="#">Paralegals and Legal Assistants</a>	detail	5,920	9.3%	2.806	1.17	\$25.87	\$25.98	\$54,040	3.2%
23-2093	<a href="#">Title Examiners, Abstractors, and Searchers</a>	detail	1,120	21.4%	0.531	1.34	\$23.68	\$24.53	\$51,030	6.5%
23-2099	<a href="#">Legal Support Workers, All Other</a>	detail	250	3.0%	0.117	0.36	\$27.84	\$32.04	\$66,630	2.7%
<b>25-0000</b>	<b><a href="#">Educational Instruction and Library Occupations</a></b>	major	102,870	3.1%	48.782	0.80	\$21.93	\$23.84	\$49,580	3.5%
25-1011	<a href="#">Business Teachers, Postsecondary</a>	detail	1,160	1.9%	0.552	0.96	(4)	(4)	\$80,690	12.6%
25-1021	<a href="#">Computer Science Teachers, Postsecondary</a>	detail	740	10.2%	0.349	1.51	(4)	(4)	\$89,780	10.4%
25-1022	<a href="#">Mathematical Science Teachers, Postsecondary</a>	detail	990	0.3%	0.471	1.32	(4)	(4)	\$66,590	6.9%
25-1041	<a href="#">Agricultural Sciences Teachers, Postsecondary</a>	detail	40	0.0%	0.020	0.32	(4)	(4)	\$77,320	13.1%
25-1042	<a href="#">Biological Science Teachers, Postsecondary</a>	detail	700	4.7%	0.332	0.90	(4)	(4)	\$79,130	9.8%
25-1051	<a href="#">Atmospheric, Earth, Marine, and Space Sciences Teachers, Postsecondary</a>	detail	120	0.0%	0.059	0.70	(4)	(4)	\$102,320	3.7%
25-1052	<a href="#">Chemistry Teachers, Postsecondary</a>	detail	500	0.3%	0.237	1.53	(4)	(4)	\$68,860	8.8%
25-1054	<a href="#">Physics Teachers, Postsecondary</a>	detail	70	0.0%	0.033	0.34	(8)	(8)	(8)	(8)

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
25-1062	<a href="#">Area, Ethnic, and Cultural Studies Teachers, Postsecondary</a>	detail	250	0.0%	0.117	1.64	(8)	(8)	(8)	(8)
25-1063	<a href="#">Economics Teachers, Postsecondary</a>	detail	120	0.0%	0.056	0.60	(8)	(8)	(8)	(8)
25-1065	<a href="#">Political Science Teachers, Postsecondary</a>	detail	100	0.0%	0.048	0.44	(8)	(8)	(8)	(8)
25-1067	<a href="#">Sociology Teachers, Postsecondary</a>	detail	130	0.0%	0.062	0.64	(8)	(8)	(8)	(8)
25-1069	<a href="#">Social Sciences Teachers, Postsecondary, All Other</a>	detail	730	5.3%	0.345	2.73	(4)	(4)	\$62,790	5.0%
25-1071	<a href="#">Health Specialties Teachers, Postsecondary</a>	detail	1,520	0.5%	0.719	0.50	(4)	(4)	\$127,020	19.8%
25-1072	<a href="#">Nursing Instructors and Teachers, Postsecondary</a>	detail	1,180	6.4%	0.561	1.28	(4)	(4)	\$71,460	6.0%
25-1081	<a href="#">Education Teachers, Postsecondary</a>	detail	850	2.3%	0.403	0.97	(4)	(4)	\$69,130	4.5%
25-1111	<a href="#">Criminal Justice and Law Enforcement Teachers, Postsecondary</a>	detail	370	0.3%	0.177	1.76	(4)	(4)	\$60,740	4.3%
25-1113	<a href="#">Social Work Teachers, Postsecondary</a>	detail	520	0.2%	0.247	2.53	(4)	(4)	\$71,520	5.8%
25-1121	<a href="#">Art, Drama, and Music Teachers, Postsecondary</a>	detail	(8)	(8)	(8)	(8)	(4)	(4)	\$64,110	3.7%
25-1122	<a href="#">Communications Teachers, Postsecondary</a>	detail	(8)	(8)	(8)	(8)	(4)	(4)	\$64,070	4.6%
25-1123	<a href="#">English Language and Literature Teachers, Postsecondary</a>	detail	970	6.5%	0.462	0.99	(4)	(4)	\$62,680	4.2%
25-1124	<a href="#">Foreign Language and Literature Teachers, Postsecondary</a>	detail	340	0.4%	0.160	0.98	(4)	(4)	\$63,500	4.6%
25-1125	<a href="#">History Teachers, Postsecondary</a>	detail	50	0.0%	0.026	0.18	(8)	(8)	(8)	(8)
25-1192	<a href="#">Family and Consumer Sciences Teachers, Postsecondary</a>	detail	50	2.8%	0.025	1.53	(4)	(4)	\$60,780	5.3%
25-1194	<a href="#">Career/Technical Education Teachers, Postsecondary</a>	detail	1,560	13.0%	0.738	0.97	\$23.66	\$25.32	\$52,670	4.4%
25-2011	<a href="#">Preschool Teachers, Except Special Education</a>	detail	5,620	8.6%	2.663	1.00	\$14.36	\$16.17	\$33,630	3.5%
25-2012	<a href="#">Kindergarten Teachers, Except Special Education</a>	detail	2,470	4.4%	1.172	1.36	(4)	(4)	\$48,260	2.4%
25-2021	<a href="#">Elementary School Teachers, Except Special Education</a>	detail	16,260	3.2%	7.711	0.79	(4)	(4)	\$49,850	2.6%
25-2022	<a href="#">Middle School Teachers, Except Special and Career/Technical Education</a>	detail	7,670	7.1%	3.639	0.84	(4)	(4)	\$48,170	2.2%
25-2031	<a href="#">Secondary School Teachers, Except Special and Career/Technical Education</a>	detail	11,410	2.9%	5.410	0.76	(4)	(4)	\$56,530	2.4%
25-2032	<a href="#">Career/Technical Education Teachers, Secondary School</a>	detail	680	6.5%	0.324	0.61	(4)	(4)	\$59,130	2.0%
25-2051	<a href="#">Special Education Teachers, Preschool</a>	detail	340	11.9%	0.163	1.12	(4)	(4)	\$50,740	1.8%
25-2052	<a href="#">Special Education Teachers, Kindergarten and Elementary School</a>	detail	2,560	3.5%	1.216	0.88	(4)	(4)	\$49,650	3.1%
25-2057	<a href="#">Special Education Teachers, Middle School</a>	detail	1,120	4.2%	0.533	0.93	(4)	(4)	\$48,420	3.7%
25-2058	<a href="#">Special Education Teachers, Secondary School</a>	detail	1,300	8.9%	0.618	0.60	(4)	(4)	\$55,520	2.4%
25-2059	<a href="#">Special Education Teachers, All Other</a>	detail	90	17.6%	0.045	0.19	(4)	(4)	\$63,030	4.8%
25-3011	<a href="#">Adult Basic Education, Adult Secondary Education, and English as a Second Language Instructors</a>	detail	370	7.7%	0.175	0.57	\$23.51	\$24.13	\$50,190	3.1%
25-3021	<a href="#">Self-Enrichment Teachers</a>	detail	1,670	14.3%	0.791	0.49	\$22.67	\$24.49	\$50,940	8.6%
25-3031	<a href="#">Substitute Teachers, Short-Term</a>	detail	5,940	37.2%	2.817	0.77	\$14.00	\$14.43	\$30,010	3.3%
25-3097	<a href="#">Tutors and Teachers and Instructors, All Other</a>	detail	3,800	12.2%	1.801	0.81	(4)	(4)	\$40,630	4.8%
25-4011	<a href="#">Archivists</a>	detail	(8)	(8)	(8)	(8)	\$19.08	\$21.07	\$43,830	9.5%
25-4012	<a href="#">Curators</a>	detail	120	24.2%	0.058	0.69	\$28.29	\$28.02	\$58,270	4.9%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
25-4013	<a href="#">Museum Technicians and Conservators</a>	detail	110	4.2%	0.053	0.62	\$18.37	\$19.56	\$40,690	2.0%
25-4022	<a href="#">Librarians and Media Collections Specialists</a>	detail	940	4.0%	0.444	0.46	\$27.02	\$27.55	\$57,300	2.1%
25-4031	<a href="#">Library Technicians</a>	detail	620	6.2%	0.294	0.46	\$15.71	\$16.86	\$35,070	2.5%
25-9031	<a href="#">Instructional Coordinators</a>	detail	2,400	10.8%	1.138	0.90	\$29.15	\$29.76	\$61,900	1.8%
25-9045	<a href="#">Teaching Assistants, Except Postsecondary</a>	detail	16,470	4.5%	7.809	0.85	(4)	(4)	\$28,450	1.0%
25-9099	<a href="#">Educational Instruction and Library Workers, All Other</a>	detail	350	18.4%	0.168	0.16	\$15.25	\$18.05	\$37,540	4.6%
<b>27-0000</b>	<b><a href="#">Arts, Design, Entertainment, Sports, and Media Occupations</a></b>	major	24,290	6.8%	11.516	0.86	\$22.62	\$26.99	\$56,130	2.4%
27-1011	<a href="#">Art Directors</a>	detail	350	13.5%	0.164	0.56	\$39.35	\$40.50	\$84,250	2.9%
27-1013	<a href="#">Fine Artists, Including Painters, Sculptors, and Illustrators</a>	detail	140	24.7%	0.064	0.80	\$16.36	\$18.26	\$37,990	7.0%
27-1021	<a href="#">Commercial and Industrial Designers</a>	detail	260	10.2%	0.126	0.58	\$44.69	\$46.34	\$96,390	5.6%
27-1022	<a href="#">Fashion Designers</a>	detail	60	49.2%	0.026	0.17	\$23.58	\$24.86	\$51,710	12.4%
27-1023	<a href="#">Floral Designers</a>	detail	210	36.7%	0.097	0.37	\$16.86	\$16.37	\$34,040	4.3%
27-1024	<a href="#">Graphic Designers</a>	detail	2,350	9.9%	1.112	0.77	\$25.92	\$30.40	\$63,240	7.4%
27-1025	<a href="#">Interior Designers</a>	detail	880	36.0%	0.417	0.98	\$27.97	\$31.14	\$64,780	10.5%
27-1026	<a href="#">Merchandise Displayers and Window Trimmers</a>	detail	2,610	15.1%	1.239	1.28	\$14.60	\$16.29	\$33,890	2.5%
27-1027	<a href="#">Set and Exhibit Designers</a>	detail	100	36.9%	0.046	0.58	\$26.95	\$25.94	\$53,950	4.1%
27-2011	<a href="#">Actors</a>	detail	190	44.4%	0.089	0.28	\$14.39	\$17.66	(4)	14.8%
27-2012	<a href="#">Producers and Directors</a>	detail	910	35.4%	0.429	0.50	\$28.49	\$33.55	\$69,780	3.9%
27-2021	<a href="#">Athletes and Sports Competitors</a>	detail	770	13.5%	0.367	6.09	(4)	(4)	\$38,880	6.8%
27-2022	<a href="#">Coaches and Scouts</a>	detail	2,990	11.2%	1.419	0.95	(4)	(4)	\$46,890	5.5%
27-2023	<a href="#">Umpires, Referees, and Other Sports Officials</a>	detail	660	25.7%	0.315	2.64	(4)	(4)	\$43,360	10.6%
27-2042	<a href="#">Musicians and Singers</a>	detail	370	31.1%	0.178	0.71	(8)	(8)	(8)	(8)
27-2090	<a href="#">Miscellaneous Entertainers and Performers, Sports and Related Workers</a>	broad	(8)	(8)	(8)	(8)	\$18.16	\$23.51	(4)	13.6%
27-3011	<a href="#">Broadcast Announcers and Radio Disc Jockeys</a>	detail	220	25.9%	0.106	0.54	\$19.23	\$31.99	\$66,550	18.6%
27-3023	<a href="#">News Analysts, Reporters, and Journalists</a>	detail	470	21.7%	0.224	0.75	\$26.06	\$33.22	\$69,090	9.1%
27-3031	<a href="#">Public Relations Specialists</a>	detail	3,200	8.3%	1.518	0.86	\$28.84	\$32.86	\$68,340	4.5%
27-3041	<a href="#">Editors</a>	detail	700	20.4%	0.332	0.49	\$28.86	\$33.65	\$69,990	2.8%
27-3042	<a href="#">Technical Writers</a>	detail	490	10.3%	0.233	0.66	\$36.99	\$38.58	\$80,250	2.7%
27-3043	<a href="#">Writers and Authors</a>	detail	330	19.9%	0.154	0.48	\$23.47	\$27.33	\$56,850	7.6%
27-3091	<a href="#">Interpreters and Translators</a>	detail	(8)	(8)	(8)	(8)	\$22.44	\$24.67	\$51,320	3.4%
27-3099	<a href="#">Media and Communication Workers, All Other</a>	detail	100	48.0%	0.046	0.31	\$30.66	\$35.17	\$73,160	3.9%
27-4011	<a href="#">Audio and Video Technicians</a>	detail	800	17.2%	0.378	0.84	\$18.15	\$20.99	\$43,650	4.7%
27-4012	<a href="#">Broadcast Technicians</a>	detail	230	30.6%	0.110	0.59	\$22.48	\$23.92	\$49,750	6.8%
27-4014	<a href="#">Sound Engineering Technicians</a>	detail	120	34.4%	0.055	0.70	\$25.96	\$25.76	\$53,580	6.4%
27-4021	<a href="#">Photographers</a>	detail	550	25.7%	0.260	0.87	\$15.92	\$18.82	\$39,150	6.7%
27-4031	<a href="#">Camera Operators, Television, Video, and Film</a>	detail	440	42.7%	0.207	1.42	\$23.76	\$25.38	\$52,800	8.4%
27-4032	<a href="#">Film and Video Editors</a>	detail	260	29.0%	0.125	0.77	\$33.43	\$33.77	\$70,240	13.8%
27-4098	<a href="#">Lighting Technicians and Media and Communication Equipment Workers, All Other</a>	detail	70	12.8%	0.031	0.20	\$35.60	\$38.38	\$79,830	7.9%
<b>29-0000</b>	<b><a href="#">Healthcare Practitioners and Technical Occupations</a></b>	major	123,710	2.6%	58.663	0.95	\$36.20	\$43.61	\$90,720	3.6%
29-1011	<a href="#">Chiropractors</a>	detail	530	9.8%	0.252	1.01	\$37.60	\$37.79	\$78,600	9.1%
29-1021	<a href="#">Dentists, General</a>	detail	1,420	16.6%	0.675	0.98	\$83.52	\$97.79	\$203,410	9.6%
29-1031	<a href="#">Dietitians and Nutritionists</a>	detail	1,090	10.4%	0.515	1.08	\$28.69	\$29.14	\$60,610	3.3%
29-1041	<a href="#">Optometrists</a>	detail	590	20.1%	0.279	1.06	\$53.21	\$47.55	\$98,900	12.0%
29-1051	<a href="#">Pharmacists</a>	detail	6,460	9.5%	3.061	1.35	\$60.40	\$58.32	\$121,300	1.9%
29-1071	<a href="#">Physician Assistants</a>	detail	2,020	13.5%	0.957	1.06	\$54.92	\$53.77	\$111,840	1.9%
29-1081	<a href="#">Podiatrists</a>	detail	190	28.1%	0.091	1.31	\$61.38	\$75.27	\$156,570	13.1%
29-1122	<a href="#">Occupational Therapists</a>	detail	1,640	18.6%	0.776	0.85	\$46.70	\$50.22	\$104,450	5.0%
29-1123	<a href="#">Physical Therapists</a>	detail	2,740	7.6%	1.300	0.82	\$43.44	\$44.20	\$91,940	1.4%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
29-1124	<a href="#">Radiation Therapists</a>	detail	190	26.7%	0.089	0.71	\$44.82	\$45.87	\$95,420	1.9%
29-1125	<a href="#">Recreational Therapists</a>	detail	180	20.9%	0.087	0.60	\$22.49	\$24.18	\$50,300	3.9%
29-1126	<a href="#">Respiratory Therapists</a>	detail	2,360	6.5%	1.119	1.18	\$29.18	\$29.54	\$61,440	1.2%
29-1127	<a href="#">Speech-Language Pathologists</a>	detail	2,040	13.0%	0.966	0.91	\$39.77	\$38.12	\$79,280	4.7%
29-1128	<a href="#">Exercise Physiologists</a>	detail	80	11.4%	0.039	0.74	\$24.45	\$25.52	\$53,080	2.1%
29-1129	<a href="#">Therapists, All Other</a>	detail	60	16.4%	0.027	0.32	\$28.82	\$32.09	\$66,750	5.3%
29-1131	<a href="#">Veterinarians</a>	detail	900	20.5%	0.429	0.81	\$48.24	\$49.35	\$102,660	4.6%
29-1141	<a href="#">Registered Nurses</a>	detail	38,380	4.1%	18.201	0.85	\$38.75	\$39.13	\$81,390	1.0%
29-1151	<a href="#">Nurse Anesthetists</a>	detail	70	14.3%	0.033	0.11	\$86.49	\$84.45	\$175,650	3.9%
29-1161	<a href="#">Nurse Midwives</a>	detail	60	32.5%	0.031	0.60	\$51.54	\$52.86	\$109,950	2.4%
29-1171	<a href="#">Nurse Practitioners</a>	detail	3,430	14.0%	1.626	1.07	\$55.35	\$55.93	\$116,330	2.8%
29-1181	<a href="#">Audiologists</a>	detail	80	7.3%	0.037	0.39	\$36.86	\$36.59	\$76,110	2.3%
29-1211	<a href="#">Anesthesiologists</a>	detail	(8)	(8)	(8)	(8)	(5)	\$128.09	\$266,440	16.9%
29-1215	<a href="#">Family Medicine Physicians</a>	detail	1,990	18.0%	0.944	1.33	(5)	\$105.79	\$220,040	11.9%
29-1216	<a href="#">General Internal Medicine Physicians</a>	detail	310	37.9%	0.145	0.40	(5)	\$117.69	\$244,800	9.1%
29-1221	<a href="#">Pediatricians, General</a>	detail	650	10.3%	0.306	1.55	\$95.03	\$98.47	\$204,820	9.8%
29-1223	<a href="#">Psychiatrists</a>	detail	250	22.5%	0.120	0.65	(5)	\$119.64	\$248,840	6.6%
29-1228	<a href="#">Physicians, All Other; and Ophthalmologists, Except Pediatric</a>	detail	6,710	26.6%	3.184	1.18	(5)	\$117.44	\$244,270	7.2%
29-1248	<a href="#">Surgeons, Except Ophthalmologists</a>	detail	900	30.6%	0.427	1.57	(5)	(5)	(5)	8.4%
29-1292	<a href="#">Dental Hygienists</a>	detail	2,920	13.0%	1.387	0.99	\$40.95	\$40.67	\$84,600	2.4%
29-1298	<a href="#">Acupuncturists and Healthcare Diagnosing or Treating Practitioners, All Other</a>	detail	230	24.9%	0.111	0.43	\$34.01	\$37.55	\$78,110	5.9%
29-2010	<a href="#">Clinical Laboratory Technologists and Technicians</a>	broad	6,800	3.8%	3.223	1.37	\$21.68	\$24.23	\$50,410	3.7%
29-2031	<a href="#">Cardiovascular Technologists and Technicians</a>	detail	410	4.1%	0.193	0.48	\$26.86	\$27.78	\$57,780	2.5%
29-2032	<a href="#">Diagnostic Medical Sonographers</a>	detail	1,400	7.9%	0.662	1.25	\$42.41	\$41.06	\$85,400	2.1%
29-2033	<a href="#">Nuclear Medicine Technologists</a>	detail	230	7.6%	0.110	0.87	\$42.26	\$41.78	\$86,900	1.2%
29-2034	<a href="#">Radiologic Technologists and Technicians</a>	detail	3,700	10.6%	1.756	1.18	\$30.66	\$30.58	\$63,610	1.8%
29-2035	<a href="#">Magnetic Resonance Imaging Technologists</a>	detail	850	14.0%	0.405	1.43	\$37.88	\$37.49	\$77,980	1.5%
29-2040	<a href="#">Emergency Medical Technicians and Paramedics</a>	broad	2,550	9.2%	1.208	0.65	\$15.97	\$17.35	\$36,080	1.8%
29-2051	<a href="#">Dietetic Technicians</a>	detail	650	5.6%	0.307	1.61	\$13.95	\$15.05	\$31,290	1.8%
29-2052	<a href="#">Pharmacy Technicians</a>	detail	6,740	8.8%	3.196	1.07	\$17.45	\$17.76	\$36,940	1.7%
29-2053	<a href="#">Psychiatric Technicians</a>	detail	3,100	11.3%	1.470	2.40	\$16.45	\$16.50	\$34,320	1.7%
29-2055	<a href="#">Surgical Technologists</a>	detail	1,610	17.3%	0.763	0.99	\$26.12	\$25.72	\$53,490	2.1%
29-2056	<a href="#">Veterinary Technologists and Technicians</a>	detail	1,850	24.2%	0.877	1.11	\$17.66	\$17.85	\$37,120	2.8%
29-2057	<a href="#">Ophthalmic Medical Technicians</a>	detail	1,380	23.0%	0.657	1.52	\$15.60	\$16.38	\$34,080	3.9%
29-2061	<a href="#">Licensed Practical and Licensed Vocational Nurses</a>	detail	4,920	7.9%	2.333	0.48	\$27.37	\$27.24	\$56,650	1.7%
29-2081	<a href="#">Opticians, Dispensing</a>	detail	740	13.9%	0.353	0.72	\$19.75	\$20.55	\$42,740	3.7%
29-2091	<a href="#">Orthotists and Prosthetists</a>	detail	330	18.0%	0.156	2.27	\$28.67	\$32.96	\$68,570	5.8%
29-2092	<a href="#">Hearing Aid Specialists</a>	detail	(8)	(8)	(8)	(8)	\$27.20	\$26.89	\$55,930	4.2%
29-2098	<a href="#">Medical Dosimetrists, Medical Records Specialists, and Health Technologists and Technicians, All Other</a>	detail	5,070	10.5%	2.402	1.05	\$20.01	\$22.09	\$45,950	2.3%
29-9091	<a href="#">Athletic Trainers</a>	detail	530	31.3%	0.250	1.27	(4)	(4)	\$51,360	3.7%
29-9098	<a href="#">Health Information Technologists, Medical Registrars, Surgical Assistants, and Healthcare Practitioners and Technical Workers, All Other</a>	detail	1,130	18.2%	0.538	0.98	\$23.55	\$29.26	\$60,860	10.7%
<b>31-0000</b>	<b><a href="#">Healthcare Support Occupations</a></b>	major	97,190	4.1%	46.087	1.00	\$14.25	\$15.57	\$32,390	1.0%
31-1120	<a href="#">Home Health and Personal Care Aides</a>	broad	54,120	7.0%	25.665	1.11	\$12.73	\$13.34	\$27,760	0.8%
31-1131	<a href="#">Nursing Assistants</a>	detail	9,480	5.1%	4.494	0.46	\$16.63	\$16.56	\$34,440	1.0%
31-1132	<a href="#">Orderlies</a>	detail	390	4.2%	0.187	0.60	\$13.43	\$14.07	\$29,270	1.6%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
31-2011	<a href="#">Occupational Therapy Assistants</a>	detail	860	21.3%	0.407	1.32	\$33.53	\$31.42	\$65,350	6.9%
31-2021	<a href="#">Physical Therapist Assistants</a>	detail	2,280	10.6%	1.083	1.62	\$17.82	\$21.47	\$44,660	5.2%
31-2022	<a href="#">Physical Therapist Aides</a>	detail	550	21.2%	0.261	0.79	\$14.03	\$14.51	\$30,180	1.6%
31-9011	<a href="#">Massage Therapists</a>	detail	2,190	18.7%	1.039	1.70	\$20.80	\$22.30	\$46,380	3.6%
31-9091	<a href="#">Dental Assistants</a>	detail	5,680	8.2%	2.694	1.20	\$21.02	\$20.38	\$42,380	2.9%
31-9092	<a href="#">Medical Assistants</a>	detail	14,770	8.7%	7.004	1.37	\$17.42	\$17.37	\$36,130	0.9%
31-9093	<a href="#">Medical Equipment Preparers</a>	detail	850	9.9%	0.401	0.98	\$18.63	\$19.42	\$40,390	2.8%
31-9094	<a href="#">Medical Transcriptionists</a>	detail	1,180	49.3%	0.561	1.57	\$14.54	\$16.13	\$33,560	4.0%
31-9095	<a href="#">Pharmacy Aides</a>	detail	570	38.4%	0.272	0.97	\$17.78	\$19.17	\$39,870	12.6%
31-9096	<a href="#">Veterinary Assistants and Laboratory Animal Caretakers</a>	detail	1,820	20.1%	0.862	1.21	\$15.70	\$15.84	\$32,940	2.5%
31-9097	<a href="#">Phlebotomists</a>	detail	930	10.4%	0.443	0.48	\$16.89	\$16.90	\$35,160	1.4%
31-9099	<a href="#">Healthcare Support Workers, All Other</a>	detail	1,490	21.6%	0.704	1.01	\$19.27	\$21.70	\$45,140	5.7%
<b>33-0000</b>	<b><a href="#">Protective Service Occupations</a></b>	major	51,810	2.0%	24.568	1.02	\$19.43	\$23.00	\$47,840	4.7%
33-1011	<a href="#">First-Line Supervisors of Correctional Officers</a>	detail	970	0.8%	0.460	1.20	\$26.70	\$29.56	\$61,480	3.5%
33-1012	<a href="#">First-Line Supervisors of Police and Detectives</a>	detail	1,770	1.4%	0.840	0.95	\$51.61	\$51.58	\$107,280	2.1%
33-1021	<a href="#">First-Line Supervisors of Firefighting and Prevention Workers</a>	detail	1,140	2.2%	0.541	1.09	\$38.97	\$39.96	\$83,120	2.4%
33-1090	<a href="#">Miscellaneous First-Line Supervisors, Protective Service Workers</a>	broad	970	7.2%	0.458	0.81	\$26.30	\$27.33	\$56,840	3.4%
33-2011	<a href="#">Firefighters</a>	detail	3,540	4.5%	1.678	0.75	\$26.40	\$25.39	\$52,820	2.0%
33-2021	<a href="#">Fire Inspectors and Investigators</a>	detail	100	1.6%	0.047	0.47	\$33.80	\$33.13	\$68,910	2.0%
33-3011	<a href="#">Bailiffs</a>	detail	200	0.0%	0.094	0.72	\$16.60	\$17.65	\$36,710	4.4%
33-3021	<a href="#">Detectives and Criminal Investigators</a>	detail	1,380	0.9%	0.657	0.86	\$43.30	\$41.90	\$87,160	6.5%
33-3051	<a href="#">Police and Sheriff's Patrol Officers</a>	detail	7,350	0.7%	3.487	0.74	\$35.47	\$34.93	\$72,660	2.0%
33-9011	<a href="#">Animal Control Workers</a>	detail	110	16.8%	0.050	0.60	\$18.91	\$19.67	\$40,910	3.4%
33-9021	<a href="#">Private Detectives and Investigators</a>	detail	310	22.9%	0.147	0.63	\$19.37	\$23.91	\$49,730	9.9%
33-9031	<a href="#">Gambling Surveillance Officers and Gambling Investigators</a>	detail	120	36.4%	0.055	0.91	\$16.18	\$20.12	\$41,850	10.3%
33-9032	<a href="#">Security Guards</a>	detail	19,830	3.8%	9.404	1.24	\$14.39	\$15.32	\$31,860	1.6%
33-9091	<a href="#">Crossing Guards and Flaggers</a>	detail	1,190	25.2%	0.566	0.93	\$12.43	\$13.00	\$27,040	1.7%
33-9092	<a href="#">Lifeguards, Ski Patrol, and Other Recreational Protective Service Workers</a>	detail	2,060	18.5%	0.979	1.20	\$12.69	\$13.29	\$27,650	2.6%
33-9093	<a href="#">Transportation Security Screeners</a>	detail	930	0.0%	0.441	1.31	\$20.19	\$20.69	\$43,030	(8)
33-9098	<a href="#">School Bus Monitors and Protective Service Workers, All Other</a>	detail	1,830	11.2%	0.867	0.84	\$14.08	\$17.08	\$35,520	2.8%
<b>35-0000</b>	<b><a href="#">Food Preparation and Serving Related Occupations</a></b>	major	169,990	1.7%	80.609	1.00	\$13.01	\$15.32	\$31,860	1.2%
35-1011	<a href="#">Chefs and Head Cooks</a>	detail	1,390	13.1%	0.661	0.91	\$25.52	\$26.70	\$55,540	2.5%
35-1012	<a href="#">First-Line Supervisors of Food Preparation and Serving Workers</a>	detail	14,090	5.8%	6.682	1.04	\$16.53	\$18.39	\$38,240	2.0%
35-2011	<a href="#">Cooks, Fast Food</a>	detail	19,040	17.8%	9.029	2.31	\$12.16	\$12.51	\$26,020	1.1%
35-2012	<a href="#">Cooks, Institution and Cafeteria</a>	detail	5,220	8.1%	2.477	0.89	\$14.56	\$15.17	\$31,560	1.8%
35-2014	<a href="#">Cooks, Restaurant</a>	detail	20,710	9.7%	9.821	1.23	\$13.97	\$14.46	\$30,070	1.9%
35-2015	<a href="#">Cooks, Short Order</a>	detail	3,270	32.1%	1.549	1.75	\$12.91	\$14.22	\$29,590	5.1%
35-2019	<a href="#">Cooks, All Other</a>	detail	40	49.8%	0.021	0.15	\$18.41	\$20.99	\$43,660	4.6%
35-2021	<a href="#">Food Preparation Workers</a>	detail	9,940	10.2%	4.713	0.83	\$12.77	\$13.67	\$28,430	1.1%
35-3011	<a href="#">Bartenders</a>	detail	7,140	13.8%	3.388	0.97	\$17.98	\$20.85	\$43,370	6.6%
35-3023	<a href="#">Fast Food and Counter Workers</a>	detail	36,010	6.8%	17.074	0.69	\$12.43	\$13.06	\$27,160	1.0%
35-3031	<a href="#">Waiters and Waitresses</a>	detail	29,260	5.4%	13.876	0.99	\$16.80	\$19.03	\$39,590	3.1%
35-3041	<a href="#">Food Servers, Nonrestaurant</a>	detail	3,680	11.5%	1.747	0.95	\$13.37	\$15.68	\$32,610	3.5%
35-9011	<a href="#">Dining Room and Cafeteria Attendants and Bartender Helpers</a>	detail	6,670	8.4%	3.163	1.17	\$12.56	\$14.02	\$29,160	2.2%
35-9021	<a href="#">Dishwashers</a>	detail	6,530	7.6%	3.095	1.09	\$12.54	\$13.02	\$27,070	0.9%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
35-9031	<a href="#">Hosts and Hostesses, Restaurant, Lounge, and Coffee Shop</a>	detail	6,690	10.7%	3.173	1.39	\$12.43	\$13.62	\$28,320	2.0%
35-9099	<a href="#">Food Preparation and Serving Related Workers, All Other</a>	detail	300	35.6%	0.143	0.29	\$13.30	\$13.94	\$29,000	2.8%
<b>37-0000</b>	<b><a href="#">Building and Grounds Cleaning and Maintenance Occupations</a></b>	major	56,950	2.8%	27.008	0.92	\$14.06	\$15.26	\$31,740	1.1%
37-1011	<a href="#">First-Line Supervisors of Housekeeping and Janitorial Workers</a>	detail	1,840	18.5%	0.875	0.86	\$18.91	\$21.00	\$43,670	5.2%
37-1012	<a href="#">First-Line Supervisors of Landscaping, Lawn Service, and Groundskeeping Workers</a>	detail	2,470	10.2%	1.173	1.57	\$21.09	\$22.37	\$46,520	3.2%
37-2011	<a href="#">Janitors and Cleaners, Except Maids and Housekeeping Cleaners</a>	detail	25,730	4.9%	12.200	0.85	\$13.62	\$14.73	\$30,640	1.7%
37-2012	<a href="#">Maids and Housekeeping Cleaners</a>	detail	7,530	6.3%	3.570	0.62	\$12.57	\$13.30	\$27,670	1.0%
37-2021	<a href="#">Pest Control Workers</a>	detail	1,300	20.5%	0.619	1.08	\$17.87	\$18.34	\$38,150	3.3%
37-3011	<a href="#">Landscaping and Groundskeeping Workers</a>	detail	17,450	5.9%	8.276	1.32	\$14.27	\$14.91	\$31,010	1.0%
37-3012	<a href="#">Pesticide Handlers, Sprayers, and Applicators, Vegetation</a>	detail	450	47.9%	0.213	1.24	\$17.89	\$18.26	\$37,980	3.6%
37-3013	<a href="#">Tree Trimmers and Pruners</a>	detail	100	26.7%	0.046	0.12	\$17.26	\$17.59	\$36,590	6.7%
37-3019	<a href="#">Grounds Maintenance Workers, All Other</a>	detail	70	43.4%	0.034	0.34	\$22.30	\$22.37	\$46,530	4.6%
<b>39-0000</b>	<b><a href="#">Personal Care and Service Occupations</a></b>	major	41,720	5.0%	19.785	1.02	\$13.59	\$16.28	\$33,870	1.8%
39-1013	<a href="#">First-Line Supervisors of Gambling Services Workers</a>	detail	400	41.2%	0.188	1.37	\$21.06	\$22.25	\$46,290	2.5%
39-1098	<a href="#">First-Line Supervisors of Personal Service and Entertainment and Recreation Workers, Except Gambling Services</a>	detail	2,580	6.2%	1.223	0.97	\$19.28	\$21.14	\$43,980	2.6%
39-2011	<a href="#">Animal Trainers</a>	detail	(8)	(8)	(8)	(8)	\$15.71	\$15.10	\$31,410	3.4%
39-2021	<a href="#">Animal Caretakers</a>	detail	2,800	12.4%	1.328	0.95	\$13.37	\$15.20	\$31,620	3.3%
39-3011	<a href="#">Gambling Dealers</a>	detail	1,420	32.9%	0.672	1.39	(8)	(8)	(8)	(8)
39-3012	<a href="#">Gambling and Sports Book Writers and Runners</a>	detail	90	23.7%	0.041	0.75	(8)	(8)	(8)	(8)
39-3019	<a href="#">Gambling Service Workers, All Other</a>	detail	170	35.4%	0.081	1.31	\$14.33	\$15.90	\$33,070	2.0%
39-3031	<a href="#">Ushers, Lobby Attendants, and Ticket Takers</a>	detail	880	19.5%	0.418	0.61	\$12.45	\$13.15	\$27,360	1.8%
39-3091	<a href="#">Amusement and Recreation Attendants</a>	detail	3,220	13.2%	1.528	0.86	\$12.31	\$13.64	\$28,380	2.1%
39-3093	<a href="#">Locker Room, Coatroom, and Dressing Room Attendants</a>	detail	170	15.6%	0.081	0.97	\$14.07	\$14.68	\$30,540	1.8%
39-4011	<a href="#">Embalmers</a>	detail	50	35.0%	0.023	0.82	\$25.76	\$21.75	\$45,250	28.4%
39-4021	<a href="#">Funeral Attendants</a>	detail	110	39.0%	0.053	0.23	\$16.83	\$16.53	\$34,390	4.7%
39-4031	<a href="#">Morticians, Undertakers, and Funeral Arrangers</a>	detail	180	29.2%	0.084	0.48	\$25.22	\$32.87	\$68,360	20.2%
39-5012	<a href="#">Hairdressers, Hairstylists, and Cosmetologists</a>	detail	7,250	19.2%	3.438	1.58	\$12.97	\$16.74	\$34,820	5.5%
39-5092	<a href="#">Manicurists and Pedicurists</a>	detail	1,160	26.9%	0.549	1.05	\$12.71	\$15.80	\$32,870	8.3%
39-5094	<a href="#">Skincare Specialists</a>	detail	1,550	22.6%	0.734	2.19	\$16.40	\$18.33	\$38,120	7.1%
39-6011	<a href="#">Baggage Porters and Bellhops</a>	detail	540	17.3%	0.257	1.26	\$13.53	\$14.32	\$29,780	1.4%
39-6012	<a href="#">Concierges</a>	detail	500	24.8%	0.237	0.89	\$14.56	\$15.38	\$31,990	1.9%
39-7010	<a href="#">Tour and Travel Guides</a>	broad	450	34.5%	0.215	0.79	\$14.26	\$15.18	\$31,580	3.6%
39-9011	<a href="#">Childcare Workers</a>	detail	5,900	10.3%	2.796	0.79	\$12.84	\$14.04	\$29,210	3.6%
39-9031	<a href="#">Exercise Trainers and Group Fitness Instructors</a>	detail	3,970	13.4%	1.883	1.06	\$15.88	\$21.28	\$44,270	7.7%
39-9032	<a href="#">Recreation Workers</a>	detail	6,070	5.5%	2.877	1.23	\$13.18	\$14.72	\$30,610	1.2%
39-9041	<a href="#">Residential Advisors</a>	detail	890	13.5%	0.423	0.57	\$16.88	\$17.16	\$35,700	2.2%
39-9098	<a href="#">Crematory Operators and Personal Care and Service Workers, All Other</a>	detail	580	20.5%	0.277	0.63	\$12.54	\$13.70	\$28,500	4.4%
<b>41-0000</b>	<b><a href="#">Sales and Related Occupations</a></b>	major	202,050	2.0%	95.814	1.02	\$15.44	\$22.56	\$46,920	2.0%
41-1011	<a href="#">First-Line Supervisors of Retail Sales Workers</a>	detail	14,080	4.5%	6.675	0.87	\$19.18	\$21.54	\$44,800	1.6%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
41-1012	<a href="#">First-Line Supervisors of Non-Retail Sales Workers</a>	detail	3,060	10.3%	1.453	0.84	\$33.13	\$34.98	\$72,750	3.4%
41-2011	<a href="#">Cashiers</a>	detail	41,060	10.2%	19.472	0.81	\$12.63	\$13.39	\$27,850	0.8%
41-2012	<a href="#">Gambling Change Persons and Booth Cashiers</a>	detail	250	26.2%	0.117	1.16	(8)	(8)	(8)	(8)
41-2021	<a href="#">Counter and Rental Clerks</a>	detail	3,950	11.3%	1.875	0.71	\$15.32	\$20.29	\$42,200	7.3%
41-2022	<a href="#">Parts Salespersons</a>	detail	3,790	9.5%	1.797	0.98	\$14.50	\$17.68	\$36,770	8.6%
41-2031	<a href="#">Retail Salespersons</a>	detail	56,470	6.3%	26.778	1.02	\$12.91	\$15.31	\$31,840	2.1%
41-3011	<a href="#">Advertising Sales Agents</a>	detail	1,420	13.9%	0.673	0.85	\$29.22	\$31.01	\$64,500	5.8%
41-3021	<a href="#">Insurance Sales Agents</a>	detail	5,830	8.1%	2.767	0.94	\$26.19	\$33.79	\$70,280	7.9%
41-3031	<a href="#">Securities, Commodities, and Financial Services Sales Agents</a>	detail	8,250	6.9%	3.910	1.24	\$23.94	\$30.85	\$64,160	5.3%
41-3041	<a href="#">Travel Agents</a>	detail	1,670	6.1%	0.792	2.00	\$25.41	\$26.75	\$55,630	4.3%
41-3091	<a href="#">Sales Representatives of Services, Except Advertising, Insurance, Financial Services, and Travel</a>	detail	23,570	5.4%	11.179	1.59	\$27.84	\$33.57	\$69,830	3.6%
41-4011	<a href="#">Sales Representatives, Wholesale and Manufacturing, Technical and Scientific Products</a>	detail	5,590	11.0%	2.653	1.28	\$41.36	\$45.74	\$95,130	6.0%
41-4012	<a href="#">Sales Representatives, Wholesale and Manufacturing, Except Technical and Scientific Products</a>	detail	18,370	5.7%	8.713	0.95	\$29.18	\$33.83	\$70,370	2.5%
41-9011	<a href="#">Demonstrators and Product Promoters</a>	detail	1,640	25.4%	0.777	1.54	\$15.31	\$19.54	\$40,650	9.7%
41-9021	<a href="#">Real Estate Brokers</a>	detail	1,940	19.2%	0.918	2.86	\$33.46	\$39.02	\$81,160	13.3%
41-9022	<a href="#">Real Estate Sales Agents</a>	detail	4,050	9.6%	1.920	1.58	\$18.34	\$25.87	\$53,820	11.0%
41-9031	<a href="#">Sales Engineers</a>	detail	880	15.4%	0.418	0.91	\$60.81	\$67.35	\$140,090	14.3%
41-9041	<a href="#">Telemarketers</a>	detail	4,340	13.5%	2.057	2.43	\$14.23	\$16.21	\$33,710	3.3%
41-9099	<a href="#">Sales and Related Workers, All Other</a>	detail	(8)	(8)	(8)	(8)	\$14.45	\$18.14	\$37,730	6.1%
<b>43-0000</b>	<b><a href="#">Office and Administrative Support Occupations</a></b>	major	322,150	1.3%	152.764	1.15	\$18.56	\$20.25	\$42,120	0.6%
43-1011	<a href="#">First-Line Supervisors of Office and Administrative Support Workers</a>	detail	25,030	3.0%	11.870	1.16	\$27.87	\$29.32	\$60,980	1.2%
43-2011	<a href="#">Switchboard Operators, Including Answering Service</a>	detail	230	10.4%	0.108	0.25	\$14.97	\$15.32	\$31,870	1.7%
43-2021	<a href="#">Telephone Operators</a>	detail	40	31.1%	0.020	0.59	\$16.17	\$16.14	\$33,560	4.0%
43-2099	<a href="#">Communications Equipment Operators, All Other</a>	detail	(8)	(8)	(8)	(8)	\$17.97	\$19.49	\$40,550	2.4%
43-3011	<a href="#">Bill and Account Collectors</a>	detail	8,130	9.7%	3.854	2.41	\$18.06	\$18.71	\$38,920	1.7%
43-3021	<a href="#">Billing and Posting Clerks</a>	detail	8,920	8.3%	4.231	1.32	\$18.70	\$19.37	\$40,290	1.0%
43-3031	<a href="#">Bookkeeping, Accounting, and Auditing Clerks</a>	detail	20,510	4.4%	9.726	0.94	\$20.86	\$21.58	\$44,880	1.2%
43-3041	<a href="#">Gambling Cage Workers</a>	detail	440	34.4%	0.210	2.77	(8)	(8)	(8)	(8)
43-3051	<a href="#">Payroll and Timekeeping Clerks</a>	detail	2,600	11.2%	1.232	1.28	\$22.24	\$22.54	\$46,880	1.9%
43-3061	<a href="#">Procurement Clerks</a>	detail	1,460	7.9%	0.694	1.58	\$22.32	\$22.47	\$46,730	2.0%
43-3071	<a href="#">Tellers</a>	detail	4,710	13.9%	2.234	0.73	\$17.19	\$17.51	\$36,420	3.4%
43-3099	<a href="#">Financial Clerks, All Other</a>	detail	380	10.0%	0.180	0.82	\$22.01	\$22.40	\$46,590	2.3%
43-4021	<a href="#">Correspondence Clerks</a>	detail	80	28.1%	0.040	0.91	\$21.64	\$22.54	\$46,890	5.4%
43-4031	<a href="#">Court, Municipal, and License Clerks</a>	detail	1,340	1.4%	0.635	0.57	\$19.11	\$20.11	\$41,830	2.3%
43-4041	<a href="#">Credit Authorizers, Checkers, and Clerks</a>	detail	720	21.3%	0.339	1.92	\$23.03	\$23.14	\$48,140	2.5%
43-4051	<a href="#">Customer Service Representatives</a>	detail	84,900	3.0%	40.258	1.98	\$17.34	\$18.18	\$37,810	0.9%
43-4061	<a href="#">Eligibility Interviewers, Government Programs</a>	detail	2,000	3.6%	0.950	0.95	\$16.41	\$18.45	\$38,370	4.1%
43-4071	<a href="#">File Clerks</a>	detail	1,650	9.4%	0.780	1.19	\$16.77	\$17.35	\$36,090	1.6%
43-4081	<a href="#">Hotel, Motel, and Resort Desk Clerks</a>	detail	2,700	6.3%	1.281	0.80	\$12.71	\$13.48	\$28,040	1.7%
43-4111	<a href="#">Interviewers, Except Eligibility and Loan</a>	detail	1,420	7.6%	0.671	0.54	\$17.46	\$17.51	\$36,410	3.2%
43-4121	<a href="#">Library Assistants, Clerical</a>	detail	810	2.5%	0.385	0.63	\$14.59	\$15.39	\$32,020	1.5%
43-4131	<a href="#">Loan Interviewers and Clerks</a>	detail	6,200	7.3%	2.939	2.00	\$21.17	\$21.45	\$44,610	2.1%
43-4151	<a href="#">Order Clerks</a>	detail	1,250	18.3%	0.591	0.69	\$15.78	\$16.44	\$34,190	2.9%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
43-4161	<a href="#">Human Resources Assistants, Except Payroll and Timekeeping</a>	detail	1,870	7.6%	0.887	1.14	\$20.64	\$21.10	\$43,880	1.3%
43-4171	<a href="#">Receptionists and Information Clerks</a>	detail	14,490	6.0%	6.871	0.99	\$15.35	\$16.05	\$33,380	1.8%
43-4181	<a href="#">Reservation and Transportation Ticket Agents and Travel Clerks</a>	detail	3,120	22.7%	1.478	1.87	\$19.27	\$22.27	\$46,330	5.3%
43-4199	<a href="#">Information and Record Clerks, All Other</a>	detail	2,610	4.5%	1.239	1.16	\$18.58	\$20.43	\$42,500	2.0%
43-5011	<a href="#">Cargo and Freight Agents</a>	detail	1,400	38.2%	0.664	0.96	\$19.81	\$20.26	\$42,140	4.3%
43-5021	<a href="#">Couriers and Messengers</a>	detail	620	22.2%	0.295	0.58	\$14.82	\$15.33	\$31,880	2.2%
43-5031	<a href="#">Public Safety Telecommunicators</a>	detail	1,430	19.8%	0.680	1.01	\$21.28	\$22.20	\$46,180	4.3%
43-5032	<a href="#">Dispatchers, Except Police, Fire, and Ambulance</a>	detail	3,030	6.2%	1.439	1.06	\$17.46	\$18.91	\$39,340	2.4%
43-5041	<a href="#">Meter Readers, Utilities</a>	detail	540	26.3%	0.257	1.35	\$25.81	\$26.25	\$54,600	4.6%
43-5051	<a href="#">Postal Service Clerks</a>	detail	600	0.0%	0.285	0.46	\$30.28	\$26.14	\$54,380	3.5%
43-5052	<a href="#">Postal Service Mail Carriers</a>	detail	3,700	0.0%	1.755	0.73	\$26.22	\$26.14	\$54,380	2.9%
43-5053	<a href="#">Postal Service Mail Sorters, Processors, and Processing Machine Operators</a>	detail	1,320	0.0%	0.625	0.83	\$25.07	\$24.77	\$51,520	3.7%
43-5061	<a href="#">Production, Planning, and Expediting Clerks</a>	detail	6,380	4.8%	3.026	1.16	\$22.44	\$23.97	\$49,860	1.4%
43-5071	<a href="#">Shipping, Receiving, and Inventory Clerks</a>	detail	9,180	5.8%	4.354	0.83	\$16.92	\$17.73	\$36,870	1.3%
43-5111	<a href="#">Weighers, Measurers, Checkers, and Samplers, Recordkeeping</a>	detail	380	20.9%	0.179	0.43	\$18.24	\$18.27	\$38,000	3.6%
43-6011	<a href="#">Executive Secretaries and Executive Administrative Assistants</a>	detail	5,270	6.0%	2.499	0.69	\$29.43	\$30.02	\$62,450	1.2%
43-6012	<a href="#">Legal Secretaries and Administrative Assistants</a>	detail	2,830	16.8%	1.342	1.16	\$22.99	\$25.69	\$53,440	9.5%
43-6013	<a href="#">Medical Secretaries and Administrative Assistants</a>	detail	12,490	5.5%	5.924	1.38	\$18.05	\$18.49	\$38,450	1.1%
43-6014	<a href="#">Secretaries and Administrative Assistants, Except Legal, Medical, and Executive</a>	detail	28,550	4.0%	13.539	1.02	\$18.17	\$18.93	\$39,380	0.8%
43-9021	<a href="#">Data Entry Keyers</a>	detail	3,700	19.8%	1.754	1.61	\$16.65	\$17.42	\$36,230	2.3%
43-9022	<a href="#">Word Processors and Typists</a>	detail	200	11.5%	0.094	0.30	\$20.87	\$20.99	\$43,670	3.3%
43-9031	<a href="#">Desktop Publishers</a>	detail	50	22.8%	0.023	0.45	(8)	(8)	(8)	(8)
43-9041	<a href="#">Insurance Claims and Policy Processing Clerks</a>	detail	5,580	8.5%	2.644	1.53	\$19.44	\$21.28	\$44,270	2.0%
43-9051	<a href="#">Mail Clerks and Mail Machine Operators, Except Postal Service</a>	detail	760	15.5%	0.362	0.63	\$14.24	\$14.94	\$31,080	1.4%
43-9061	<a href="#">Office Clerks, General</a>	detail	33,140	3.6%	15.713	0.78	\$18.52	\$20.25	\$42,130	1.3%
43-9071	<a href="#">Office Machine Operators, Except Computer</a>	detail	660	15.4%	0.311	1.06	\$16.32	\$16.71	\$34,760	2.7%
43-9081	<a href="#">Proofreaders and Copy Markers</a>	detail	(8)	(8)	(8)	(8)	\$17.44	\$17.53	\$36,460	4.3%
43-9111	<a href="#">Statistical Assistants</a>	detail	360	3.3%	0.173	2.58	\$16.56	\$18.70	\$38,890	4.7%
43-9199	<a href="#">Office and Administrative Support Workers, All Other</a>	detail	1,380	16.4%	0.655	0.52	\$20.50	\$21.29	\$44,270	1.6%
<b>45-0000</b>	<b><a href="#">Farming, Fishing, and Forestry Occupations</a></b>	major	3,200	16.2%	1.516	0.44	\$14.58	\$15.90	\$33,070	2.1%
45-1011	<a href="#">First-Line Supervisors of Farming, Fishing, and Forestry Workers</a>	detail	200	18.6%	0.093	0.57	\$24.42	\$26.62	\$55,370	5.1%
45-2011	<a href="#">Agricultural Inspectors</a>	detail	60	5.0%	0.027	0.28	\$18.44	\$19.93	\$41,450	2.4%
45-2091	<a href="#">Agricultural Equipment Operators</a>	detail	70	31.2%	0.031	0.15	\$16.94	\$17.03	\$35,420	4.1%
45-2092	<a href="#">Farmworkers and Laborers, Crop, Nursery, and Greenhouse</a>	detail	2,650	18.7%	1.258	0.60	\$14.10	\$14.94	\$31,080	2.4%
45-2093	<a href="#">Farmworkers, Farm, Ranch, and Aquacultural Animals</a>	detail	180	9.3%	0.084	0.32	\$14.86	\$15.43	\$32,100	4.1%
45-2099	<a href="#">Agricultural Workers, All Other</a>	detail	30	43.2%	0.015	0.33	\$22.89	\$22.80	\$47,430	3.8%
<b>47-0000</b>	<b><a href="#">Construction and Extraction Occupations</a></b>	major	103,640	2.4%	49.144	1.15	\$22.61	\$24.10	\$50,120	1.1%
47-1011	<a href="#">First-Line Supervisors of Construction Trades and Extraction Workers</a>	detail	12,490	5.5%	5.923	1.34	\$33.74	\$34.97	\$72,740	2.5%
47-2021	<a href="#">Brickmasons and Blockmasons</a>	detail	560	20.9%	0.263	0.61	\$23.71	\$23.82	\$49,540	2.9%
47-2022	<a href="#">Stonemasons</a>	detail	(8)	(8)	(8)	(8)	\$12.55	\$13.47	\$28,010	3.4%
47-2031	<a href="#">Carpenters</a>	detail	11,900	9.3%	5.645	1.12	\$22.87	\$23.50	\$48,890	2.1%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
47-2041	<a href="#">Carpet Installers</a>	detail	90	47.1%	0.040	0.24	\$21.40	\$23.84	\$49,600	5.5%
47-2042	<a href="#">Floor Layers, Except Carpet, Wood, and Hard Tiles</a>	detail	(8)	(8)	(8)	(8)	\$24.34	\$26.47	\$55,050	8.0%
47-2044	<a href="#">Tile and Stone Setters</a>	detail	920	31.9%	0.435	1.59	\$21.85	\$21.54	\$44,810	4.6%
47-2051	<a href="#">Cement Masons and Concrete Finishers</a>	detail	5,780	10.6%	2.741	1.95	\$22.09	\$22.13	\$46,030	1.4%
47-2061	<a href="#">Construction Laborers</a>	detail	16,790	6.1%	7.963	1.14	\$18.30	\$19.60	\$40,770	2.1%
47-2071	<a href="#">Paving, Surfacing, and Tamping Equipment Operators</a>	detail	770	38.3%	0.366	1.14	\$18.95	\$19.51	\$40,590	5.7%
47-2073	<a href="#">Operating Engineers and Other Construction Equipment Operators</a>	detail	6,340	8.4%	3.006	1.04	\$23.42	\$23.61	\$49,110	1.8%
47-2081	<a href="#">Drywall and Ceiling Tile Installers</a>	detail	2,910	13.3%	1.379	1.92	\$21.39	\$21.86	\$45,460	3.2%
47-2082	<a href="#">Tapers</a>	detail	340	30.3%	0.163	1.39	\$25.29	\$25.65	\$53,360	3.9%
47-2111	<a href="#">Electricians</a>	detail	10,840	7.9%	5.141	1.09	\$23.55	\$23.86	\$49,620	2.9%
47-2121	<a href="#">Glaziers</a>	detail	2,270	21.3%	1.075	2.86	\$21.62	\$22.83	\$47,490	3.6%
47-2131	<a href="#">Insulation Workers, Floor, Ceiling, and Wall</a>	detail	(8)	(8)	(8)	(8)	\$27.57	\$27.10	\$56,370	11.9%
47-2132	<a href="#">Insulation Workers, Mechanical</a>	detail	380	49.0%	0.181	0.91	\$27.61	\$26.53	\$55,180	3.7%
47-2141	<a href="#">Painters, Construction and Maintenance</a>	detail	4,120	18.3%	1.954	1.25	\$19.36	\$20.40	\$42,430	4.3%
47-2151	<a href="#">Pipelayers</a>	detail	970	21.3%	0.459	1.88	\$22.42	\$23.00	\$47,840	2.8%
47-2152	<a href="#">Plumbers, Pipefitters, and Steamfitters</a>	detail	7,360	7.9%	3.491	1.16	\$24.22	\$25.87	\$53,810	3.0%
47-2161	<a href="#">Plasterers and Stucco Masons</a>	detail	1,770	22.7%	0.839	4.63	\$22.12	\$24.08	\$50,080	5.2%
47-2171	<a href="#">Reinforcing Iron and Rebar Workers</a>	detail	50	47.0%	0.025	0.19	\$25.46	\$25.15	\$52,320	3.5%
47-2181	<a href="#">Roofers</a>	detail	2,120	19.1%	1.003	1.08	\$19.43	\$19.57	\$40,710	5.2%
47-2211	<a href="#">Sheet Metal Workers</a>	detail	2,160	23.0%	1.023	1.11	\$23.52	\$23.98	\$49,880	2.8%
47-2221	<a href="#">Structural Iron and Steel Workers</a>	detail	1,540	19.8%	0.731	1.42	\$23.14	\$24.13	\$50,180	4.1%
47-2231	<a href="#">Solar Photovoltaic Installers</a>	detail	170	27.6%	0.082	1.00	\$23.55	\$23.87	\$49,650	6.3%
47-3011	<a href="#">Helpers--Brickmasons, Blockmasons, Stonemasons, and Tile and Marble Setters</a>	detail	250	47.4%	0.118	0.76	\$17.51	\$17.33	\$36,050	3.6%
47-3012	<a href="#">Helpers--Carpenters</a>	detail	400	31.1%	0.190	0.85	\$17.95	\$18.48	\$38,430	3.8%
47-3013	<a href="#">Helpers--Electricians</a>	detail	580	33.1%	0.276	0.52	\$17.23	\$18.10	\$37,650	6.2%
47-3014	<a href="#">Helpers--Painters, Paperhangers, Plasterers, and Stucco Masons</a>	detail	360	37.2%	0.168	2.47	\$16.76	\$17.39	\$36,180	5.1%
47-3015	<a href="#">Helpers--Pipelayers, Plumbers, Pipefitters, and Steamfitters</a>	detail	760	26.1%	0.360	0.90	\$16.54	\$16.92	\$35,190	6.3%
47-3016	<a href="#">Helpers--Roofers</a>	detail	310	48.0%	0.147	2.43	(8)	(8)	(8)	(8)
47-3019	<a href="#">Helpers, Construction Trades, All Other</a>	detail	450	31.1%	0.212	1.06	\$18.04	\$19.04	\$39,600	5.9%
47-4011	<a href="#">Construction and Building Inspectors</a>	detail	2,100	11.2%	0.993	1.21	\$30.01	\$30.37	\$63,170	2.8%
47-4021	<a href="#">Elevator and Escalator Installers and Repairers</a>	detail	370	17.5%	0.177	1.00	\$43.87	\$40.69	\$84,640	3.3%
47-4031	<a href="#">Fence Erectors</a>	detail	(8)	(8)	(8)	(8)	\$19.53	\$19.32	\$40,190	2.9%
47-4041	<a href="#">Hazardous Materials Removal Workers</a>	detail	320	40.2%	0.152	0.48	\$18.05	\$19.00	\$39,520	4.1%
47-4051	<a href="#">Highway Maintenance Workers</a>	detail	670	27.9%	0.319	0.30	\$21.73	\$22.11	\$45,990	2.0%
47-4061	<a href="#">Rail-Track Laying and Maintenance Equipment Operators</a>	detail	(8)	(8)	(8)	(8)	\$26.83	\$26.86	\$55,870	7.3%
47-4071	<a href="#">Septic Tank Servicers and Sewer Pipe Cleaners</a>	detail	170	49.8%	0.082	0.38	\$19.13	\$19.55	\$40,670	3.5%
47-4090	<a href="#">Miscellaneous Construction and Related Workers</a>	broad	730	43.4%	0.344	1.49	\$17.72	\$19.12	\$39,770	3.3%
47-5022	<a href="#">Excavating and Loading Machine and Dragline Operators, Surface Mining</a>	detail	(8)	(8)	(8)	(8)	\$24.19	\$24.54	\$51,050	3.6%
47-5041	<a href="#">Continuous Mining Machine Operators</a>	detail	450	37.4%	0.214	1.99	\$24.43	\$24.56	\$51,070	6.3%
47-5081	<a href="#">Helpers--Extraction Workers</a>	detail	500	30.6%	0.237	2.59	\$20.32	\$20.36	\$42,350	10.1%
47-5097	<a href="#">Earth Drillers, Except Oil and Gas; and Explosives Workers, Ordnance Handling Experts, and Blasters</a>	detail	460	24.5%	0.220	1.36	\$27.44	\$28.44	\$59,160	6.0%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
49-0000	<a href="#">Installation, Maintenance, and Repair Occupations</a>	major	82,850	2.9%	39.289	1.00	\$22.71	\$24.55	\$51,060	1.1%
49-1011	<a href="#">First-Line Supervisors of Mechanics, Installers, and Repairers</a>	detail	8,130	5.4%	3.856	1.13	\$31.77	\$33.53	\$69,730	1.6%
49-2011	<a href="#">Computer, Automated Teller, and Office Machine Repairers</a>	detail	1,400	20.0%	0.666	1.01	\$19.42	\$20.24	\$42,100	2.6%
49-2021	<a href="#">Radio, Cellular, and Tower Equipment Installers and Repairers</a>	detail	200	31.6%	0.096	1.01	\$27.01	\$29.33	\$61,000	7.9%
49-2022	<a href="#">Telecommunications Equipment Installers and Repairers, Except Line Installers</a>	detail	3,550	21.3%	1.683	1.23	\$23.78	\$24.99	\$51,970	6.2%
49-2091	<a href="#">Avionics Technicians</a>	detail	420	33.0%	0.199	1.29	\$28.92	\$29.37	\$61,090	4.2%
49-2092	<a href="#">Electric Motor, Power Tool, and Related Repairers</a>	detail	820	39.4%	0.390	3.53	\$22.65	\$22.59	\$46,980	5.5%
49-2093	<a href="#">Electrical and Electronics Installers and Repairers, Transportation Equipment</a>	detail	90	27.7%	0.042	0.56	\$23.54	\$25.51	\$53,070	10.9%
49-2094	<a href="#">Electrical and Electronics Repairers, Commercial and Industrial Equipment</a>	detail	580	19.9%	0.276	0.70	\$24.65	\$27.34	\$56,870	5.6%
49-2095	<a href="#">Electrical and Electronics Repairers, Powerhouse, Substation, and Relay</a>	detail	190	37.9%	0.090	0.54	\$44.05	\$42.49	\$88,370	3.8%
49-2096	<a href="#">Electronic Equipment Installers and Repairers, Motor Vehicles</a>	detail	(8)	(8)	(8)	(8)	\$25.14	\$31.37	\$65,260	14.6%
49-2097	<a href="#">Audiovisual Equipment Installers and Repairers</a>	detail	1,420	21.3%	0.675	3.65	\$24.44	\$25.83	\$53,730	8.8%
49-2098	<a href="#">Security and Fire Alarm Systems Installers</a>	detail	2,150	18.0%	1.019	2.06	\$26.59	\$26.64	\$55,410	2.6%
49-3011	<a href="#">Aircraft Mechanics and Service Technicians</a>	detail	3,030	8.4%	1.439	1.56	\$34.52	\$35.16	\$73,120	3.8%
49-3021	<a href="#">Automotive Body and Related Repairers</a>	detail	2,060	18.5%	0.978	0.99	\$21.85	\$23.40	\$48,680	4.4%
49-3022	<a href="#">Automotive Glass Installers and Repairers</a>	detail	240	44.7%	0.115	0.86	\$13.39	\$15.26	\$31,750	6.5%
49-3023	<a href="#">Automotive Service Technicians and Mechanics</a>	detail	10,110	8.2%	4.796	1.08	\$20.08	\$22.21	\$46,200	2.3%
49-3031	<a href="#">Bus and Truck Mechanics and Diesel Engine Specialists</a>	detail	2,450	14.9%	1.163	0.64	\$23.43	\$24.02	\$49,950	1.5%
49-3041	<a href="#">Farm Equipment Mechanics and Service Technicians</a>	detail	190	38.0%	0.091	0.36	\$24.05	\$23.90	\$49,710	5.0%
49-3042	<a href="#">Mobile Heavy Equipment Mechanics, Except Engines</a>	detail	2,770	14.5%	1.311	1.24	\$26.11	\$26.61	\$55,350	1.5%
49-3051	<a href="#">Motorboat Mechanics and Service Technicians</a>	detail	(8)	(8)	(8)	(8)	\$29.04	\$27.62	\$57,440	10.7%
49-3053	<a href="#">Outdoor Power Equipment and Other Small Engine Mechanics</a>	detail	360	11.3%	0.169	0.75	\$21.39	\$21.25	\$44,190	3.7%
49-3092	<a href="#">Recreational Vehicle Service Technicians</a>	detail	380	13.3%	0.179	1.65	\$17.50	\$20.57	\$42,790	7.4%
49-3093	<a href="#">Tire Repairers and Changers</a>	detail	970	37.1%	0.459	0.65	\$13.81	\$15.69	\$32,630	5.3%
49-9011	<a href="#">Mechanical Door Repairers</a>	detail	150	30.7%	0.072	0.44	\$27.51	\$27.09	\$56,350	6.8%
49-9012	<a href="#">Control and Valve Installers and Repairers, Except Mechanical Door</a>	detail	(8)	(8)	(8)	(8)	\$32.96	\$28.85	\$60,010	3.8%
49-9021	<a href="#">Heating, Air Conditioning, and Refrigeration Mechanics and Installers</a>	detail	7,860	7.3%	3.728	1.51	\$22.69	\$24.07	\$50,070	2.2%
49-9031	<a href="#">Home Appliance Repairers</a>	detail	300	21.2%	0.140	0.71	\$27.23	\$30.61	\$63,660	10.4%
49-9041	<a href="#">Industrial Machinery Mechanics</a>	detail	3,010	11.9%	1.428	0.51	\$26.03	\$26.40	\$54,920	2.3%
49-9043	<a href="#">Maintenance Workers, Machinery</a>	detail	830	18.5%	0.396	0.84	\$28.35	\$28.10	\$58,450	2.6%
49-9044	<a href="#">Millwrights</a>	detail	280	35.7%	0.135	0.42	\$36.30	\$33.88	\$70,460	3.8%
49-9051	<a href="#">Electrical Power-Line Installers and Repairers</a>	detail	670	7.1%	0.316	0.38	\$31.93	\$33.74	\$70,180	8.4%
49-9052	<a href="#">Telecommunications Line Installers and Repairers</a>	detail	820	32.0%	0.391	0.44	\$22.92	\$23.74	\$49,370	3.3%
49-9061	<a href="#">Camera and Photographic Equipment Repairers</a>	detail	90	26.6%	0.043	1.80	\$22.19	\$22.23	\$46,230	4.6%
49-9062	<a href="#">Medical Equipment Repairers</a>	detail	520	28.8%	0.248	0.71	\$21.57	\$24.55	\$51,070	5.4%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
49-9063	<a href="#">Musical Instrument Repairers and Tuners</a>	detail	170	44.5%	0.079	1.55	\$16.97	\$17.80	\$37,020	3.2%
49-9069	<a href="#">Precision Instrument and Equipment Repairers, All Other</a>	detail	70	0.0%	0.032	0.44	\$18.38	\$21.68	\$45,090	2.6%
49-9071	<a href="#">Maintenance and Repair Workers, General</a>	detail	20,790	4.3%	9.861	1.01	\$19.03	\$20.64	\$42,940	1.2%
49-9091	<a href="#">Coin, Vending, and Amusement Machine Servicers and Repairers</a>	detail	400	12.4%	0.191	1.06	\$22.07	\$21.17	\$44,030	6.9%
49-9094	<a href="#">Locksmiths and Safe Repairers</a>	detail	(8)	(8)	(8)	(8)	\$18.28	\$18.66	\$38,810	4.4%
49-9096	<a href="#">Riggers</a>	detail	100	43.1%	0.047	0.30	\$30.99	\$30.71	\$63,880	7.7%
49-9098	<a href="#">Helpers--Installation, Maintenance, and Repair Workers</a>	detail	1,430	12.2%	0.679	1.03	\$17.22	\$17.73	\$36,870	2.0%
49-9099	<a href="#">Installation, Maintenance, and Repair Workers, All Other</a>	detail	1,730	18.0%	0.820	0.76	\$24.96	\$25.10	\$52,210	5.2%
<b>51-0000</b>	<b><a href="#">Production Occupations</a></b>	major	82,870	2.2%	39.296	0.64	\$17.80	\$20.03	\$41,660	1.4%
51-1011	<a href="#">First-Line Supervisors of Production and Operating Workers</a>	detail	5,470	4.8%	2.595	0.60	\$30.26	\$32.38	\$67,360	1.4%
51-2011	<a href="#">Aircraft Structure, Surfaces, Rigging, and Systems Assemblers</a>	detail	810	15.1%	0.385	1.39	\$21.64	\$22.87	\$47,580	6.5%
51-2028	<a href="#">Electrical, Electronic, and Electromechanical Assemblers, Except Coil Winders, Tapers, and Finishers</a>	detail	4,210	10.6%	1.994	0.98	\$17.85	\$19.19	\$39,910	2.6%
51-2031	<a href="#">Engine and Other Machine Assemblers</a>	detail	(8)	(8)	(8)	(8)	\$18.45	\$19.68	\$40,940	5.9%
51-2041	<a href="#">Structural Metal Fabricators and Fitters</a>	detail	1,020	13.4%	0.486	0.97	\$17.54	\$19.10	\$39,730	4.3%
51-2090	<a href="#">Miscellaneous Assemblers and Fabricators</a>	broad	14,620	6.1%	6.934	0.77	\$15.01	\$16.13	\$33,550	1.4%
51-3011	<a href="#">Bakers</a>	detail	2,010	11.6%	0.952	0.78	\$14.40	\$15.62	\$32,490	2.0%
51-3021	<a href="#">Butchers and Meat Cutters</a>	detail	1,110	12.7%	0.524	0.51	\$18.16	\$18.23	\$37,910	2.7%
51-3022	<a href="#">Meat, Poultry, and Fish Cutters and Trimmers</a>	detail	740	16.3%	0.352	0.33	\$14.56	\$15.50	\$32,240	5.4%
51-3091	<a href="#">Food and Tobacco Roasting, Baking, and Drying Machine Operators and Tenders</a>	detail	170	44.2%	0.081	0.59	\$19.28	\$19.94	\$41,470	6.5%
51-3092	<a href="#">Food Batchmakers</a>	detail	750	16.6%	0.355	0.32	\$16.41	\$16.76	\$34,860	4.1%
51-3093	<a href="#">Food Cooking Machine Operators and Tenders</a>	detail	90	30.7%	0.040	0.21	\$15.54	\$15.61	\$32,480	3.9%
51-3099	<a href="#">Food Processing Workers, All Other</a>	detail	310	47.0%	0.149	0.50	\$13.53	\$16.93	\$35,210	5.0%
51-4021	<a href="#">Extruding and Drawing Machine Setters, Operators, and Tenders, Metal and Plastic</a>	detail	510	39.6%	0.240	0.48	\$18.02	\$18.08	\$37,610	4.3%
51-4022	<a href="#">Forging Machine Setters, Operators, and Tenders, Metal and Plastic</a>	detail	40	17.8%	0.021	0.21	\$16.90	\$16.58	\$34,480	3.4%
51-4023	<a href="#">Rolling Machine Setters, Operators, and Tenders, Metal and Plastic</a>	detail	110	29.4%	0.053	0.21	\$15.32	\$17.10	\$35,560	5.2%
51-4031	<a href="#">Cutting, Punching, and Press Machine Setters, Operators, and Tenders, Metal and Plastic</a>	detail	710	15.8%	0.339	0.26	\$16.92	\$18.00	\$37,430	3.7%
51-4032	<a href="#">Drilling and Boring Machine Tool Setters, Operators, and Tenders, Metal and Plastic</a>	detail	(8)	(8)	(8)	(8)	\$14.12	\$14.53	\$30,230	6.2%
51-4033	<a href="#">Grinding, Lapping, Polishing, and Buffing Machine Tool Setters, Operators, and Tenders, Metal and Plastic</a>	detail	550	28.4%	0.262	0.52	\$17.16	\$18.15	\$37,760	4.8%
51-4034	<a href="#">Lathe and Turning Machine Tool Setters, Operators, and Tenders, Metal and Plastic</a>	detail	(8)	(8)	(8)	(8)	\$24.08	\$23.51	\$48,900	5.4%
51-4035	<a href="#">Milling and Planing Machine Setters, Operators, and Tenders, Metal and Plastic</a>	detail	30	34.9%	0.015	0.13	\$23.04	\$22.42	\$46,630	9.2%
51-4041	<a href="#">Machinists</a>	detail	3,020	11.6%	1.432	0.55	\$23.61	\$24.00	\$49,920	3.3%
51-4051	<a href="#">Metal-Refining Furnace Operators and Tenders</a>	detail	(8)	(8)	(8)	(8)	\$20.70	\$20.71	\$43,080	6.7%
51-4052	<a href="#">Pourers and Casters, Metal</a>	detail	(8)	(8)	(8)	(8)	\$18.16	\$18.02	\$37,480	5.0%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
51-4071	<a href="#">Foundry Mold and Coremakers</a>	detail	120	5.8%	0.055	0.47	\$15.50	\$16.24	\$33,770	4.4%
51-4072	<a href="#">Molding, Coremaking, and Casting Machine Setters, Operators, and Tenders, Metal and Plastic</a>	detail	1,220	15.3%	0.576	0.52	\$16.47	\$19.12	\$39,770	3.6%
51-4081	<a href="#">Multiple Machine Tool Setters, Operators, and Tenders, Metal and Plastic</a>	detail	910	17.2%	0.433	0.45	\$17.06	\$17.66	\$36,730	2.8%
51-4111	<a href="#">Tool and Die Makers</a>	detail	240	24.7%	0.115	0.26	\$27.74	\$26.84	\$55,820	4.5%
51-4121	<a href="#">Welders, Cutters, Solderers, and Brazers</a>	detail	4,060	12.3%	1.925	0.67	\$21.72	\$22.47	\$46,740	2.0%
51-4122	<a href="#">Welding, Soldering, and Brazing Machine Setters, Operators, and Tenders</a>	detail	210	38.7%	0.101	0.42	\$20.86	\$21.12	\$43,940	4.7%
51-4191	<a href="#">Heat Treating Equipment Setters, Operators, and Tenders, Metal and Plastic</a>	detail	70	46.4%	0.032	0.27	\$15.76	\$16.44	\$34,200	2.7%
51-4193	<a href="#">Plating Machine Setters, Operators, and Tenders, Metal and Plastic</a>	detail	380	20.3%	0.180	0.65	\$14.97	\$16.03	\$33,340	4.0%
51-4199	<a href="#">Metal Workers and Plastic Workers, All Other</a>	detail	70	8.7%	0.031	0.21	(8)	(8)	(8)	(8)
51-5111	<a href="#">Prepress Technicians and Workers</a>	detail	160	19.4%	0.074	0.37	\$20.92	\$20.70	\$43,050	3.9%
51-5112	<a href="#">Printing Press Operators</a>	detail	2,240	10.9%	1.064	0.92	\$17.46	\$18.47	\$38,420	2.3%
51-5113	<a href="#">Print Binding and Finishing Workers</a>	detail	(8)	(8)	(8)	(8)	\$14.76	\$16.18	\$33,650	6.6%
51-6011	<a href="#">Laundry and Dry-Cleaning Workers</a>	detail	2,260	11.1%	1.074	0.83	\$13.06	\$13.62	\$28,320	1.5%
51-6021	<a href="#">Pressers, Textile, Garment, and Related Materials</a>	detail	750	31.3%	0.355	1.54	\$12.20	\$12.62	\$26,240	2.1%
51-6031	<a href="#">Sewing Machine Operators</a>	detail	1,470	15.4%	0.696	0.83	\$14.52	\$15.31	\$31,840	2.1%
51-6052	<a href="#">Tailors, Dressmakers, and Custom Sewers</a>	detail	150	32.6%	0.070	0.47	\$22.07	\$21.65	\$45,030	8.2%
51-6062	<a href="#">Textile Cutting Machine Setters, Operators, and Tenders</a>	detail	250	21.6%	0.116	1.28	\$12.70	\$13.94	\$28,990	4.8%
51-6063	<a href="#">Textile Knitting and Weaving Machine Setters, Operators, and Tenders</a>	detail	(8)	(8)	(8)	(8)	\$19.32	\$23.16	\$48,180	5.3%
51-6093	<a href="#">Upholsterers</a>	detail	240	42.6%	0.112	0.59	\$17.22	\$18.03	\$37,500	5.9%
51-7011	<a href="#">Cabinetmakers and Bench Carpenters</a>	detail	1,010	24.1%	0.479	0.71	\$19.56	\$21.65	\$45,020	7.6%
51-7021	<a href="#">Furniture Finishers</a>	detail	240	17.8%	0.116	1.03	\$15.41	\$17.01	\$35,390	6.3%
51-7041	<a href="#">Sawing Machine Setters, Operators, and Tenders, Wood</a>	detail	180	25.8%	0.085	0.25	\$16.45	\$16.68	\$34,690	2.3%
51-7042	<a href="#">Woodworking Machine Setters, Operators, and Tenders, Except Sawing</a>	detail	1,070	21.0%	0.506	0.94	\$14.74	\$15.95	\$33,180	6.5%
51-8012	<a href="#">Power Distributors and Dispatchers</a>	detail	60	22.1%	0.029	0.41	\$46.11	\$45.99	\$95,650	5.0%
51-8013	<a href="#">Power Plant Operators</a>	detail	(8)	(8)	(8)	(8)	\$41.55	\$39.94	\$83,070	3.8%
51-8021	<a href="#">Stationary Engineers and Boiler Operators</a>	detail	80	34.8%	0.040	0.19	\$28.23	\$27.97	\$58,180	2.5%
51-8031	<a href="#">Water and Wastewater Treatment Plant and System Operators</a>	detail	1,370	10.0%	0.651	0.76	\$26.21	\$26.02	\$54,110	1.7%
51-8092	<a href="#">Gas Plant Operators</a>	detail	(8)	(8)	(8)	(8)	\$35.53	\$34.21	\$71,160	5.7%
51-8093	<a href="#">Petroleum Pump System Operators, Refinery Operators, and Gaugers</a>	detail	(8)	(8)	(8)	(8)	\$26.01	\$25.40	\$52,840	6.0%
51-9011	<a href="#">Chemical Equipment Operators and Tenders</a>	detail	490	32.4%	0.233	0.35	\$21.15	\$20.87	\$43,420	4.9%
51-9012	<a href="#">Separating, Filtering, Clarifying, Precipitating, and Still Machine Setters, Operators, and Tenders</a>	detail	380	17.8%	0.181	0.53	\$19.82	\$21.19	\$44,070	4.0%
51-9021	<a href="#">Crushing, Grinding, and Polishing Machine Setters, Operators, and Tenders</a>	detail	120	23.0%	0.056	0.24	\$18.70	\$20.18	\$41,970	5.2%
51-9022	<a href="#">Grinding and Polishing Workers, Hand</a>	detail	370	17.8%	0.175	1.01	\$16.56	\$17.08	\$35,530	2.9%

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
51-9023	<a href="#">Mixing and Blending Machine Setters, Operators, and Tenders</a>	detail	1,100	8.7%	0.522	0.63	\$16.50	\$17.30	\$35,990	3.0%
51-9031	<a href="#">Cutters and Trimmers, Hand</a>	detail	40	24.2%	0.021	0.37	\$15.47	\$16.09	\$33,480	5.8%
51-9032	<a href="#">Cutting and Slicing Machine Setters, Operators, and Tenders</a>	detail	610	14.1%	0.287	0.76	\$16.19	\$17.68	\$36,760	4.4%
51-9041	<a href="#">Extruding, Forming, Pressing, and Compacting Machine Setters, Operators, and Tenders</a>	detail	470	27.7%	0.223	0.49	\$15.79	\$17.34	\$36,070	5.9%
51-9051	<a href="#">Furnace, Kiln, Oven, Drier, and Kettle Operators and Tenders</a>	detail	(8)	(8)	(8)	(8)	\$18.48	\$18.98	\$39,470	3.5%
51-9061	<a href="#">Inspectors, Testers, Sorters, Samplers, and Weighers</a>	detail	6,310	5.9%	2.993	0.76	\$19.54	\$21.22	\$44,130	1.3%
51-9071	<a href="#">Jewelers and Precious Stone and Metal Workers</a>	detail	110	31.0%	0.052	0.39	\$15.44	\$16.28	\$33,860	5.8%
51-9081	<a href="#">Dental Laboratory Technicians</a>	detail	190	18.9%	0.092	0.41	\$23.27	\$24.19	\$50,310	2.6%
51-9082	<a href="#">Medical Appliance Technicians</a>	detail	360	16.9%	0.170	1.73	\$19.21	\$20.67	\$43,000	3.9%
51-9083	<a href="#">Ophthalmic Laboratory Technicians</a>	detail	290	5.0%	0.136	0.73	\$19.11	\$20.60	\$42,860	4.9%
51-9111	<a href="#">Packaging and Filling Machine Operators and Tenders</a>	detail	3,150	9.8%	1.495	0.56	\$14.94	\$15.76	\$32,790	1.7%
51-9123	<a href="#">Painting, Coating, and Decorating Workers</a>	detail	40	45.6%	0.018	0.22	\$17.43	\$18.00	\$37,450	9.0%
51-9124	<a href="#">Coating, Painting, and Spraying Machine Setters, Operators, and Tenders</a>	detail	1,670	16.0%	0.791	0.80	\$18.05	\$19.60	\$40,760	2.9%
51-9141	<a href="#">Semiconductor Processing Technicians</a>	detail	3,410	1.3%	1.615	7.23	\$30.56	\$30.33	\$63,080	3.0%
51-9151	<a href="#">Photographic Process Workers and Processing Machine Operators</a>	detail	70	19.4%	0.035	0.55	\$20.47	\$20.75	\$43,160	5.5%
51-9161	<a href="#">Computer Numerically Controlled Tool Operators</a>	detail	1,240	12.8%	0.586	0.55	\$19.26	\$20.04	\$41,690	7.6%
51-9162	<a href="#">Computer Numerically Controlled Tool Programmers</a>	detail	240	12.1%	0.116	0.63	\$29.93	\$30.24	\$62,900	2.6%
51-9191	<a href="#">Adhesive Bonding Machine Operators and Tenders</a>	detail	30	34.5%	0.015	0.17	\$15.34	\$15.72	\$32,700	7.4%
51-9192	<a href="#">Cleaning, Washing, and Metal Pickling Equipment Operators and Tenders</a>	detail	150	15.5%	0.071	0.71	\$17.51	\$17.91	\$37,260	2.7%
51-9194	<a href="#">Etchers and Engravers</a>	detail	50	31.5%	0.024	0.36	\$15.30	\$16.70	\$34,730	6.2%
51-9195	<a href="#">Molders, Shapers, and Casters, Except Metal and Plastic</a>	detail	540	28.3%	0.257	0.86	\$17.19	\$17.39	\$36,180	5.3%
51-9196	<a href="#">Paper Goods Machine Setters, Operators, and Tenders</a>	detail	(8)	(8)	(8)	(8)	\$17.87	\$18.19	\$37,830	2.6%
51-9198	<a href="#">Helpers--Production Workers</a>	detail	1,410	13.5%	0.670	0.39	\$14.71	\$15.29	\$31,800	1.9%
51-9199	<a href="#">Production Workers, All Other</a>	detail	1,280	19.8%	0.607	0.43	\$16.07	\$17.46	\$36,320	2.4%
<b>53-0000</b>	<b><a href="#">Transportation and Material Moving Occupations</a></b>	major	187,860	2.7%	89.085	1.02	\$15.99	\$19.06	\$39,640	2.5%
53-1041	<a href="#">Aircraft Cargo Handling Supervisors</a>	detail	170	30.1%	0.080	1.11	\$19.36	\$23.95	\$49,810	6.9%
53-1047	<a href="#">First-Line Supervisors of Transportation and Material Moving Workers, Except Aircraft Cargo Handling Supervisors</a>	detail	8,090	8.2%	3.834	1.12	\$26.40	\$27.31	\$56,810	2.2%
53-2011	<a href="#">Airline Pilots, Copilots, and Flight Engineers</a>	detail	1,810	12.9%	0.858	1.43	(4)	(4)	\$165,910	17.9%
53-2012	<a href="#">Commercial Pilots</a>	detail	640	24.7%	0.302	1.13	(4)	(4)	\$93,850	7.8%
53-2022	<a href="#">Airfield Operations Specialists</a>	detail	90	4.0%	0.045	0.59	\$34.58	\$31.37	\$65,240	3.1%
53-3011	<a href="#">Ambulance Drivers and Attendants, Except Emergency Medical Technicians</a>	detail	190	46.1%	0.091	0.90	\$15.91	\$17.89	\$37,210	9.5%
53-3031	<a href="#">Driver/Sales Workers</a>	detail	5,730	24.3%	2.716	0.90	\$12.53	\$14.88	\$30,940	4.2%
53-3032	<a href="#">Heavy and Tractor-Trailer Truck Drivers</a>	detail	20,830	5.8%	9.878	0.76	\$22.97	\$23.93	\$49,780	1.8%
53-3033	<a href="#">Light Truck Drivers</a>	detail	13,900	6.7%	6.592	0.99	\$17.57	\$19.25	\$40,050	3.4%
53-3052	<a href="#">Bus Drivers, Transit and Intercity</a>	detail	2,880	9.1%	1.366	1.17	\$22.14	\$22.95	\$47,740	2.1%
53-3058	<a href="#">Passenger Vehicle Drivers, Except Bus Drivers, Transit and Intercity</a>	detail	7,710	6.8%	3.654	0.85	\$15.15	\$17.21	\$35,790	8.2%
53-3099	<a href="#">Motor Vehicle Operators, All Other</a>	detail	490	30.2%	0.234	0.63	(8)	(8)	(8)	(8)

Occupation code	Occupation title (click on the occupation title to view its profile)	Level	Employment	Employment RSE	Employment per 1,000 jobs	Location quotient	Median hourly wage	Mean hourly wage	Annual mean wage	Mean wage RSE
53-6021	<a href="#">Parking Attendants</a>	detail	3,860	38.5%	1.832	2.06	\$13.34	\$13.87	\$28,840	2.3%
53-6031	<a href="#">Automotive and Watercraft Service Attendants</a>	detail	1,290	11.6%	0.613	0.76	\$14.13	\$15.08	\$31,370	2.3%
53-6041	<a href="#">Traffic Technicians</a>	detail	(8)	(8)	(8)	(8)	\$28.13	\$29.12	\$60,560	1.2%
53-6051	<a href="#">Transportation Inspectors</a>	detail	400	5.4%	0.188	0.95	\$31.13	\$37.18	\$77,340	14.2%
53-6061	<a href="#">Passenger Attendants</a>	detail	50	24.0%	0.025	0.15	\$12.54	\$13.17	\$27,390	2.9%
53-6098	<a href="#">Aircraft Service Attendants and Transportation Workers, All Other</a>	detail	330	27.9%	0.155	0.64	\$14.63	\$21.74	\$45,220	15.7%
53-7011	<a href="#">Conveyor Operators and Tenders</a>	detail	140	11.9%	0.065	0.39	\$15.21	\$16.42	\$34,160	6.6%
53-7021	<a href="#">Crane and Tower Operators</a>	detail	(8)	(8)	(8)	(8)	\$34.96	\$33.78	\$70,260	6.5%
53-7051	<a href="#">Industrial Truck and Tractor Operators</a>	detail	9,730	12.9%	4.612	1.00	\$17.91	\$18.76	\$39,030	2.0%
53-7061	<a href="#">Cleaners of Vehicles and Equipment</a>	detail	5,920	8.5%	2.807	1.14	\$12.66	\$13.77	\$28,650	1.2%
53-7062	<a href="#">Laborers and Freight, Stock, and Material Movers, Hand</a>	detail	47,420	4.8%	22.486	1.12	\$14.86	\$16.33	\$33,960	1.1%
53-7063	<a href="#">Machine Feeders and Offbearers</a>	detail	360	42.4%	0.170	0.37	\$15.32	\$16.33	\$33,970	2.6%
53-7064	<a href="#">Packers and Packagers, Hand</a>	detail	8,410	7.4%	3.988	0.93	\$12.86	\$14.13	\$29,390	1.2%
53-7065	<a href="#">Stockers and Order Fillers</a>	detail	40,140	15.5%	19.035	1.20	\$14.52	\$16.23	\$33,770	5.0%
53-7072	<a href="#">Pump Operators, Except Wellhead Pumps</a>	detail	(8)	(8)	(8)	(8)	\$27.69	\$30.65	\$63,740	5.6%
53-7081	<a href="#">Refuse and Recyclable Material Collectors</a>	detail	2,120	24.9%	1.004	1.16	\$18.91	\$19.97	\$41,540	3.1%
53-7199	<a href="#">Material Moving Workers, All Other</a>	detail	110	35.3%	0.053	0.28	\$14.99	\$16.60	\$34,530	3.8%

Showing 1 to 672 of 672 entries

[About May 2020 National, State, Metropolitan, and Nonmetropolitan Area Occupational Employment and Wage Estimates](#)

(1) Estimates for detailed occupations do not sum to the totals because the totals include occupations not shown separately. Estimates do not include self-employed workers.

(2) Annual wages have been calculated by multiplying the hourly mean wage by a "year-round, full-time" hours figure of 2,080 hours; for those occupations where there is not an hourly wage published, the annual wage has been directly calculated from the reported survey data.

(3) The relative standard error (RSE) is a measure of the reliability of a survey statistic. The smaller the relative standard error, the more precise the estimate.

(4) Wages for some occupations that do not generally work year-round, full time, are reported either as hourly wages or annual salaries depending on how they are typically paid.

(5) This wage is equal to or greater than \$100.00 per hour or \$208,000 per year.

(8) Estimates not released.

(9) The location quotient is the ratio of the area concentration of occupational employment to the national average concentration. A location quotient greater than one indicates the occupation has a higher share of employment than average, and a location quotient less than one indicates the occupation is less prevalent in the area than average.

State estimates for [Arizona](#)

Arizona's metropolitan and nonmetropolitan area estimates:

- [Flagstaff, AZ](#)
- [Lake Havasu City-Kingman, AZ](#)
- Phoenix-Mesa-Scottsdale, AZ
- [Prescott, AZ](#)
- [Sierra Vista-Douglas, AZ](#)
- [Tucson, AZ](#)
- [Yuma, AZ](#)
- [Arizona nonmetropolitan area](#)

[May 2020 National Occupational Employment and Wage Estimates](#)

[May 2020 State Occupational Employment and Wage Estimates](#)

[May 2020 Metropolitan and Nonmetropolitan Area Occupational Employment and Wage Estimates](#)

[May 2020 National Industry-Specific Occupational Employment and Wage Estimates](#)

[Technical notes](#)

**Last Modified Date:** March 31, 2021

U.S. BUREAU OF LABOR STATISTICS Division of Occupational Employment and Wage Statistics PSB Suite 2135 2 Massachusetts Avenue  
NE Washington, DC 20212-0001

Telephone:1-202-691-6569\_ [www.bls.gov/OES](http://www.bls.gov/OES) [Contact OEWS](#)



# **HCCI Exhibit #4**

---

## **West Harrington Curriculum Vitae**



Curriculum Vitae  
**WEST HARRINGTON**

**EDUCATION**

**California State Polytechnic University, Pomona, CA**  
*1994 – 1995*

**Antioch University, Baltimore, MD**  
*1977 - 1979*

**PROFESSIONAL LICENSES**

**State of California**  
*Licensed General Contractor*  
*California License Number 463572*

**State of Nevada**  
*Licensed General Building Contractor*  
*Nevada License Number 50832*

**State of Arizona**  
*Licensed General Contractor*  
*Arizona License Number 246394*  
*2008 – 2018*  
*Arizona License Number 320129*  
*2018*

**State of Washington**  
*Licensed General Contractor*  
*Washington License Number CC HARRICC889CW*

**Aurora, Colorado**  
*Licensed Commercial Building Contractor*  
*Aurora, CO License Number 2017 1347019 00 CL*

**Aurora, Colorado**  
*Licensed Roofing Contractor*  
*Aurora, CO License Number 2017 1389478 00 CL*



## PROFESSIONAL AFFILIATIONS

### **American Society for Testing and Materials (ASTM)**

*Committee Member:*

*D08 Roofing and Waterproofing*

*E06 Performance of Buildings*

*E34 Occupational Health and Safety*

### **National Roofing Contractors Association (NRCA)**

*Industry Member*

### **Construction Specifications Institute (C.S.I.)**

*Industry Member*

### **United Brotherhood of Carpenters and Joiners of America**

*Journeyman Carpenter (Inactive Status)*

### **International Code Council**

*F-14 National Standard Roofing Contractor*

## EXPERIENCE

### **1985-PRESENT**

#### **HARRINGTON CONSTRUCTION CO., INC., Rancho Cucamonga, CA**

President of general contracting business, which specializes in public works, commercial building and insurance reconstruction/completion projects. Oversee and direct all daily business operations, including estimating and accounting functions. Supervise and direct superintendents in the field. Completion contractor or construction manager for defaulted construction projects on numerous projects.

Forensic construction consultant to insurance companies, attorneys, architects, public and private owners in construction defects litigation and personal injury cases. Provide expert services including cost-to-repair estimates and analysis and testimony regarding the standard of care for general contractors, subcontractor trades and property owners.

Project experience includes single-family homes, apartments, condominiums, commercial and public works projects.



## EXPERIENCE (CONTINUED)

**1997-DECEMBER 2002**

**HARRINGTON EDWARDS & ASSOCIATES CONSULTANTS, INC., *Diamond Bar, CA***

---

President responsible for business development and management. Provide consulting and project management services primarily to the solid waste industry.

**1981-1985**

**HAYWARD CONSTRUCTION CO., *Monrovia, CA***

---

Project superintendent, responsible for scheduling, coordinating and supervising all trades on public works and commercial projects. Participated in bidding process, evaluating job site conditions, estimating material and labor costs, soliciting and negotiating subcontractors' and suppliers' bids. Secured bonding requirements. Assisted in negotiation and preparation of proposals for negotiated contracts. Project experiences included: Hospitals, public schools, clean room, robotics laboratory, post offices, fire stations, office buildings, jails, universities, multiple-unit housing, military barracks and computer rooms. Project manager/superintendent in the completion of numerous defaulted public works construction projects for various sureties.

**1979-1981**

**CARPENTERS LOCAL 789, *Pasadena, CA***

---

Journeyman carpenter and carpenter foreman in the construction of public buildings, single-family and multiple housing units and medical facilities. Project layout, supervision and direction of excavation, rebar placement, form work, concrete placement and finishing, structural steel erection, structural masonry construction and wood framing.

**1976-1979**

**UNITED STATES FOREST SERVICE, *Mendocino National Forest, CA***

---

Carpenter in the construction and maintenance of Forest Service facilities throughout the Mendocino National Forest. Also participated in engineering projects, including bridge work, slope stabilization, fire break construction and road maintenance, construction and repair.



# **HCCI Exhibit #5**

---

## **Schedule of Rates**



***SCHEDULE OF RATES FOR CONSULTING SERVICES***

CONSULTING, ESTIMATING, RESEARCH AND INSPECTIONS

Consultant.....\$225.00/hr.

*All field services are billable portal to portal.*

COURTROOM AND DEPOSITION TESTIMONY

Expert Witness Services.....\$550.00/hr.

ADDITIONAL COSTS

Photographs \$0.50/ea.  
Mileage \$0.575/mi.



# **HCCI Exhibit #6**

---

## **West Harrington Testimony Matrices**

California Trial Testimony						
#	Case #	Case Caption	County	Law Firm	Client	Date
1	168-C	Forman v. Forecast Homes	Los Angeles	Sage Consulting	Forecast Homes	12/1995
2	532-C	Lewis-Jorge v. Pomona U.S.D.	Los Angeles	Booth, Mitchel & Strange	Lewis-Jorge	09/1999
3	654-C	Stanley Berhans v. Shane Scott	Orange	Bonetati & Associates	Shane Scott	01/19/00
7	812-C	Blaylock v. The Stratham Group	San Bernardino	Booth, Mitchel & Strange	R.C.E. Plastering	10/05/00
5	1058-C	McClelland v. Monroe Tractor SVC	Orange	James R. Traut / Eric V. Traut	James R. Traut	11/01/01
8	1146-C	Layton v. Fairway Village	Orange	Murtaugh Miller Meyer & Nelson LLP	Layton	02/18/02
6	1180-C	(Tyberg) 79 Beverly Pk. Lane LLC v. Pool Cover Specialist	Los Angeles	Murchison & Cumming	Gleason Interior	03/15/02
9	1189-C	Gottfurcht v. American Motorists Insurance Co.	Los Angeles	Booth, Mitchel & Strange	American Motorists	03/29/02
4	1315-C	Yanez v. Sulley-Miller Contracting	Los Angeles	Koeller, Nebeker, Carison & Haluck, LLP	Matt Construction	08/15/02
10	1395-C	Clarendon v. Integrated Sign Associates	Los Angeles	Prindle, Decker & Amaro, LLP	Integrated Sign	12/19/02
11	1083-C	El Escorial v. Santa Barbara	Santa Barabara	Dale, Braden & Hinchcliffe	D.L.C. Plastering	12/2003
12	1861-C	Torres v. Savala Equipment Co., Inc.	Los Angeles	Morris, Polich & Purdy	Griffith	10/04/04
13	2711-C	Delgado v. Verdugo	Los Angeles	Selman-Breitman	Verdugo & Associates	09/10/07
14	2597-C	Canada v. Department of Water & Power, et al.	Los Angeles	Wood, Smith, Henning & Berman	Merco Construction Engineers	09/17/07
15	2319-C	Zaino v. Stager	Orange	Bonetati & Associates	DiAngelo Construction	09/28/07
16	3168-C	Smith v. Comel Development	San Diego	Green & Hall	Weatherite Corp.	10/15/08
17	2736-C	Cave Productions v. John Hugo	Los Angeles	Murchison & Cumming	Lane Productions	02/17/09
18	3544-C	Robert Berry v. R.J. Noble, et al	Orange	Traut Firm	Berry	10/08/09
19	3305-C	Church v. Mikolasko	Los Angeles	Murtaugh, Meyer, Nelson & Treglia	Kenneth Nelson Construction	11/17/09
20	3447-C	Covenant Builders v. Newman	San Diego	Murtaugh, Meyer, Nelson & Treglia	Covenant Builders	03/18/10
21	3602-C	Siegel v. Patel	Orange	Brady, Vorwerck, Ryder & Caspino	Patel	04/15/10
22	3590-C	AV Builder v. Laguna Village Owners' Association	Orange	Murtaugh, Meyer, Nelson & Treglia	Pulaski Arita Olsson	06/09/10
23	3941-C	Sigmund v. Wilshire Selby	Los Angeles	Murphy, Pearson, Bradley & Feeney	Wilshire Selby Towers West HOA	01/03/11
24	4143-C	Davidson v. Chadwick	Los Angeles	Murtaugh, Meyer, Nelson & Treglia LLP	Norman Davidson	02/28/12
25	4218-C	Slayton v. Ruscha	Los Angeles	Montelone & McCory	Edward Ruscha	12/03/12
26	4730-C	Graff v. Alex & Polina Blyumkin as Trustees; Newform Construction	Los Angeles	Murchison & Cumming	Blyumkin and Newform Construction	03/05/14
27	3176-C	TDIC v. Buon Gusto Ristorante	Los Angeles	Watkins & Letofsky, LLP	TDIC	07/29/14
28	4394-C	Multz v. Building Dreams Construction, Inc.	Los Angeles	Archer Norris	LA Stucco	08/14/14
29	4865-C	Regalado v. Callaghan, et al.	Riverside	Wood, Smith, Henning & Berman	Jeffrey Callaghan	10/15/14
30	4577-C	Fuess v. Fling / DLK Development v. Fling	Los Angeles	Feldman & Associates	dba: Framing Specialists DLK Development (GC)	02/04/15

California Trial Testimony						
#	Case #	Case Caption	County	Law Firm	Client	Date
31	5109-C	Wheel Solutions, Inc. v. DCO Beach Walk, LLC	Orange	Archer Norris	DCO Beach Walk, LLC	10/01/15
32	5504-C	Braganza v. Pulte (Carriage Place I/II, Commons I) - Murrieta	Riverside	Letofsky-McClain	CBR Electric	10/12/16
33	4944-C	Munro v. Tiara Imperial Apartments Association, et al. (TIA)	Long Beach	Grant, Genovese & Baratta, LLP	TIA	07/10/17
34	5672-C	Silverline Construction, Inc. v. Coyle/Reno <b>(JUDICIAL REFERENCE)</b>	San Jose	Murtaugh, Meyer, Nelson & Treglia LLP	Silverline Construction, Inc.	10/25/17
35	6354-C	Heather Anthony v. Denise Gilbert, et al.	Riverside	Letofsky-McClain	Larry Methvin Installations, Inc. and Nexus Builders	04/22/19
36	6092-C	Metropolitan Industries, Inc. v. Special Services for Groups, Inc., et al.	Los Angeles	Selman-Breitman	U-Bon aka U-B Contractors	06/18/19
37	6396-C	Tesoro Refining & Marketing Company LLC v. Rickley/Roit <b>(JURY TRIAL)</b>	Los Angeles	Buchalter	Tesoro Refining & Marketing Company LLC	09/10/19
38	6450-C	KPRS Construction Services, Inc. v. Allied Subcontractors	Orange	Mokri, Vanis & Jones, LLP	Allied Subcontractors	09/12/19
39	6396-C	Tesoro Refining & Marketing Company LLC v. Rickley/Roit <b>(BENCH TRIAL)</b>	Los Angeles	Buchalter	Tesoro Refining & Marketing Company LLC	10/02/19
40	6409-C	Cornejo v. Serrato; U.S. Bank	San Bernardino	Trachtman & Trachtman	U.S. Bank National Association	11/07/19
41	6396-C	Tesoro Refining & Marketing Company LLC v. Rickley/Roit <b>(JURY TRIAL)</b>	Los Angeles	Buchalter	Tesoro Refining & Marketing Company LLC	07/27/21
42	6543-C	PS Business Parks, L.P. v. George Shimizu, et al.	Orange County	Friedenthal, Heffernan & Brown, LLP	Michael Chislock	08/02/21
43	6744-C	Neman, et al. v. State Farm General Ins. Co.	Los Angeles	Cozen O'Connor	State Farm General Ins. Co.	08/26/21
44	6794-C	Gardner v. CP IV G8, LLC, et al.	Los Angeles	Tharpe & Howell	CP IV G8, LLC, et al.	09/03/21

Nevada Trial Testimony						
#	Case #	Case Caption	County	Law Firm	Client	Date
1	1489-N	Olen Res. v. Robt. v. Jones - Eagle Trace	Clark	Helm & Helm	First Premier Drywall	09/2003
2	1970-N	Signature Custom Homes v. MS Concrete	Clark	Springel & Fink	MS Concrete	10/09/06
3	3336-N	Kitec Fitting Litigation	Clark	Parker, Nelson & Associates	Sharp Plumbing	01/30/09
4	4689-N	Johnson v. Olympic Square Shopping Center, et al.	Clark	Ray Lego & Associates	Apollo International, Inc.; John & Kiliopi Georgis	02/25/15
5	4300-N	Sandstone Condominium HOA v. Sandstone Condominiums in Mesquite, NV, LLC et al. <b>(EVIDENTIARY HEARING)</b>	Clark	Bremer, Whyte, Brown & O'Meara	Centennial Drywall Systems	04/15/15

Arizona Trial Testimony						
#	Case #	Case Caption	County	Law Firm	Client	Date
1	3622-A	Ramsey v. Construction Management Group 3	Maricopa	Rai & Barone	Construction Management Group 3	07/19/10
2	3842-A	Alamosa Ranch, LLC v. Antimite Arizona, Inc.	Pima	Lewis Brisbois Bisgaard & Smith LLP	SOS Exterminating	05/01/12
3	3268-A	Sirrah Enterprises v. Wunderlich, et al.	Yavapai	Bremer, Whyte, Brown & O'Meara	Sirrah Enterprises, LLC	06/04/14

Colorado Trial Testimony						
#	Case #	Case Caption	County	Law Firm	Client	Date
1	4955-CO	Counts, et al. v. Ironbridge Homes, LLC	Garfield	Wood, Smith, Henning & Berman	LB Rose Ranch, LLC	07/13/15

**California Binding Arbitration Testimony**

#	Case #	Case Caption	County	Retained By	Client / Insured	Date
1	925-C	Price v. The Coast	Orange	Gray, York, & Duffy	The Coast HOA	
2	1034-C	Levine v. Medina	Los Angeles	Murtaugh Miller Meyer & Nelson	Medina	03/26/02
3	975-C	Vera Townhomes v. Chsley Construction	San Bernardino	Murtaugh Miller Meyer & Nelson	Chesley Construction	
4	1358-C	Community of Christ	Los Angeles	Murtaugh Miller Meyer & Nelson	Community of Christ	07/07/04
5	1892-C	Renard v. Houck Construction	Los Angeles	Leon A. Victor & Associates	Houck Construction	02/05/05
6	2357-C	Aphessetche v. Nicholas Builders	Los Angeles	Prindle, Decker & Amaro	Orange West Scaffolding	12/12/05
7	2157-C	Amoroso v. Navigator	Los Angeles	Selvin, Wraith & Halman	PMC Concrete Finishes	12/13/05
8	1995-C	Halfon v. Inglewood Investment	Los Angeles	Law Offices of Maureen O'Hara	Zoe Papayians	12/15/05
9	3284-C	Mishra v. Armstrong Associates	Santa Barbara	Archer-Norris	Jerry Cox Construction	11/06/08
10	2941-C	August Construction v. Brent Engineering	Los Angeles	Callahan & Blaine	Brent Engineering	02/05/09
11	3619-C	Woo (Thomasson) v. Standard Pacific Corp.	San Bernardino	Green & Hall	Standard Pacific	02/08/10
12	3903-C	Tidus v. Hohmann	Orange	Murtaugh, Meyer, Nelson & Treglia LLP	David Hohmann	04/18/11
13	3540-C	East Los Angeles Community College	Los Angeles	Feldman & Associates	Morillo Construction, Inc.	02/07/12
14	4831-C	Toledo v. Pinnacle	Orange	Archer-Norris	Aquatic Co. fka Lasco Bathware, Inc.	01/20/15
15	5376-C	817 Alfred Community Assoc., Inc. v. SUP Alfred 18, LLC; Sycamore Urban Properties, LLC	Orange	Wood, Smith, Henning & Berman, LLP	SUP Alfred 18, LLC; Sycamore Urban Properties, LLC	05/23/16
16	5541-C	R&R Construction v. Roski	Los Angeles	Feldman & Associates	R&R Construction	9/07/16 9/09/16
17	5621-C	Basec Structures, Inc. v. 211 La Brea, LLC	Los Angeles	Manatt, Phelps & Phillips, LLP	211 La Brea, LLC	11/09/16
18	5578-C	L.A. Construction and Design, Inc. v. EHG Alpha US, LLC	Los Angeles	Jeffrey & Grosfeld	L.A. Construction and Design, Inc.	12/14/16
19	5704-C	Brownstein v. Tufeld Corporation	Los Angeles	Kincaid & Associates	Beverly Hills Gateway, L.P., Promenade Gateway, L.P.	11/01/17
20	5830-C	Gilbert Enterprises, Inc. v. Homme	Los Angeles	The Green Law Group	Gilbert Enterprises, Inc.	05/03/18
21	6180-C	Lifetech Resources, LLC v. Anderson Construction, Inc.	Los Angeles	The Green Law Group	Anderson Construction, Inc.	10/14/20 10/15/20

**Arizona Binding Arbitration Testimony**

#	Case #	Case Caption	County	Retained By	Client / Insured	Date
1	3356-A	Amezcuca v. D.R. Horton	Maricopa	Rai & Barone	Swiss Plastering	02/12/10
2	3885-A	Kerby Estates v. Continental Homes II	Maricopa	Rai & Barone	Palo Verde Plastering	08/14/12
3	3932-A	Kerby Estates v. Continental Homes II	Maricopa	Rai & Barone	Swiss Plastering	08/14/12
4	4036-A	Embrey v. Loma Vista Development Company	Maricopa	Rai & Barone	Burrows Concrete	02/02/15
5	5279-A	Kukora v. Blandford Homes	Maricopa	Bauman, Loewe, Witt & Maxwell	Headlee Roofing, Inc.	02/01/16

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
1	168-HC	Peters/Anderson v. Brighton C	Orange	Murtaugh Miller Meyer & Nelson	Wilson Framing	11/30/98
2	631-C	Rancho Sierra HOA v. Robert V. Jones Corp.	Clark	Bremer, Whyte, Brown & O'Meara	Owens Plastering	1998
3	600-C	Brentwood @ Kiowa HOA v. Brentwood Partners, et al	Los Angeles	Selman Breitman		1998
4	533-C	Foxgate v. Bramalea/Strom Drywall	Los Angeles	Murchison & Cumming	Efco Corp.	1998
5	601-C	Kilroy v. Hughes	Los Angeles	Brady, Vorwerck & Ryder	Sierra Fireproofing	1998
6	153-HC	Kortlander v. California Fair Plan	Los Angeles	Bottum & Feliton	California Fair Plan	1998
7	536-C	PGA West Res. v Sunrise Desert Part. C	San Bernardino	Stewart, Dimmick, Marshall & Zell		04/09/99
8	535-C	Majia v. Forecast Homes C	Orange	Brady, Vorwerck & Ryder	Vallejo Concrete	08/11/99
9	134-HC	Lewis Jorge v. PUSD/Vejar	Los Angeles		Lewis George Construction	1999
10	1089-C	Queen Anne/LAUSD	Los Angeles	Booth, Mitchell & Strange	Lewis George Construction	1999
11	522-C	Revere Financial v. Ginsburg	Los Angeles	Cummings & White	Ginsburg	1999
12	556-C	Summit Pointe II v. Newcrest Development	Los Angeles	Murchison & Cumming	Newcrest Development	1999
13	114-HC	Bouab v. TIG	Orange	Bottum & Feliton/Sage		1999
14	133-HC	Brown v. Brighton	Orange	Sage/Murtaugh, Meyer, Nelson & Treglia	Wilson Framing	1999
15	501-C	Faysal v. Huggins Sheet Metal, et al.	Orange	Waters, McCluskey & Boehle	Huggins Sheet Metal	1999
16	853-C	Friedman v. Kaufman & Broad	Orange	Cooksey, Howard, Martin & Toolen	Norm's Sheet Metal	1999
17	541-C	Rock Springs Vista 3 v. JA Black Constr. C	Clark	Thorndal, Armstrong, etc./SAGE	Iovino Masonry	06/21/00
18	645-C	Pacific Legends Green Valley v. Pacific Properties	Clark	Ryder & Caspino	B & B Framing	08/09/00
19	669-C	Magellan Acacia Prk Ltd v. Temecula 320 LPC	Orange	Bremer, Whyte, Brown & O'Meara, LLP	Sports Tech Group, Inc. dba Surfacing Tech Group	2000
20	567-C	Marinescu v. County of Orange	Orange	Ford, Walker, Haggerty & Behar		2000
21	509-C	Spitz/Auslander v. Brighton	Orange	Murtaugh, Meyer, Nelson & Treglia	Wilson Framing	2000
22	654-C	Stanley Berhans v. Shane Scott	Orange	Bonetati & Associates		2000
23	1166-C	Windwards HOA v. John Laing Homes	Orange	Booth, Mitchell & Strange	Coast Tile Plastics	2000
24	151-HC	Yee v. Telikos Corp, et al.	Orange	Murtaugh, Meyer, Nelson & Treglia	Telikos Corp	2000
25	512-C	Harbour Island v. Shamrock Voss	Ventura	Murtaugh, Meyer, Nelson & Treglia		2000
26	651-C	Echo Glen HOA v. Robert V. Jones	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	Owens Plastering	01/15/01
27	856-C	Hathaway Dinwiddie Constr. v. United Airlines, Inc.	Los Angeles	Paul, Hastings, Janofsky & Walker	United Airlines	01/18/01

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
28	831-C	Elias v. Acacia Construction C	Orange	James R. Traut / Eric V. Traut	Mario Elias	02/06/01
29	816-C	Lankershim v. Carreon Villa Apartments	Los Angeles	Stutz, Gallagher, Artiano, Shinoff & Holtz	Matich Corp.	02/21/01
30	697-C	Opulence v. Picerne Construction	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	AR Ornamental	02/23/01
31	876-C	Stanley Behrens v. Shane J. Scott, et al.	Orange	Murchison & Cumming	Shane Scott	03/07/01
32	625-C	Borhani v. Bramalea	Orange	Ivan K. Stevenson	Bramalea	03/28/01
33	561-C	Elan HOA v. Picerne Development	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	AR Ornamental	03/29/01
34	626-C	Gagliardi v. Duarte	Orange	Matsui Consulting Group		05/02/01
35	926-C	Bhaumik v. Tiller	Orange	James R. Traut / Eric V. Traut	Tiller Constructors	05/14/01
36	913-N	Elan HOA v. Picerne Construc.	Clark	Bremer, Whyte, Brown & O'Meara, LLP	Alpine Insulation	05/16/01
37	538-C	Labdon v. The Fieldstone Co. C	Orange	Murtaugh Miller Meyer & Nelson LLP	M&R Wood Products	05/17/01
38	756-C	Labdon v. The Fieldstone Co.	Los Angeles	Brady, Vorwerck & Ryder	James Mock, Inc.	05/22/01
39	695-C	Souvenir HOA v. Charter Realty	Clark	Bremer, Whyte, Brown & O'Meara	Bronco Construction	05/23/01
40	670-C	Catalina Plaza HOA v. Anastasi Construction Co.	Los Angeles	Brady, Vorwerck & Ryder	Anastasi Construction	06/11/01
41	750-N	Resort Villas HOA v. Robert V. Jones	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	AR Ornamental Iron	06/15/01
42	724-C	Ireland v. Barratt	Los Angeles	Brady, Vorwerck, Ryder & Caspino	Sierra Fireplace	06/25/01
43	700-C	Mandel v. Brighton Homes	Los Angeles	Brady, Vorwerck, Ryder & Caspino	Sierra Fireplace	06/25/01
44	723-C	Melton v. Barratt	Los Angeles	Brady, Vorwerck, Ryder & Caspino	Sierra Fireplace	06/25/01
45	676-C	Ironwood Condo v. Robert Jones	Clark	Bremer, Whyte, Brown & O'Meara	Owens Plastering	07/13/01
46	676-C	Ironwood Condo v. Robert Jones C	Clark	Bremer, Whyte, Brown & O'Meara, LLP	Owens Plastering	07/13/01
47	699-C	Ali v. Woodcrest	Los Angeles	Brady, Vorwerck, Ryder & Caspino	Cal-Russ Construction	09/06/01
48	597-C	Admirals Point	Clark			09/10/01
49	644-C	Pacific Legends West HOA v. Pacific Prop.	Clark	Ryder & Caspino	B & B Framing	09/27/01
50	718-N	Colorado Bay Club v. Capital Pacific	Clark	Ryder & Caspino	1st Better Builders	10/09/01
51	721-C	Rupport v. Scanlon		Murchison & Cumming	Vista Plastering	10/16/01
52	711-N	Verde Viejo v. Diversified Dev. - Iovino	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	Iovino Masonry	10/22/01
53	712-N	Verde Viejo v. Diversified Dev. - AR Ornamental	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	AR Ornamental	10/23/01
54	736-N	Las Hadas HOA v. Durable Homes/Capital Pacific Homes C	Clark	Bremer, Whyte, Brown & O'Meara, LLP	Huntsman Plastering	11/15/01
55	940-C	TIG Insurance Co. v. Gary Smolker	Los Angeles	Prindle, Decker & Amaro	Home Savings Termite Co.	11/20/01
56	975-C	Vera Townhomes v. Chelsey Construction	San Bernardino	Murtaugh, Meyer, Nelson & Treglia	Chelsey Construction	12/06/01
57	870-C	Fountains Senior Prop. of CA v. Birtcher Constr.	Orange	O'Connor, Packer & Dunivan	Rob Guth Construction	12/13/01

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
58	810-C	Madokoro v. Monarch Builders	Los Angeles	Morris, Pulich & Purdy	Monarch Builders	01/21/02
59	605-C	Ridgeview v. Deznan	Clark	Sage	Deznan	01/23/02
60	1034-C	Levine v. Medina	Los Angeles	Murtaugh, Meyer, Nelson & Treglia	Medina	02/12/02
61	912-N	Spanish Gardens v. Tiberti-Blood	Clark	Helm & Associates	Nevada Gypsum Floors	02/14/02
62	866-N	Duritsa v. Beazer Homes Holding Corp.	Clark	Helm v. Helm	Vegas General	03/07/02
63	1141-C	Pacific Custom Pools v Scottsdale Ins., Co.	Los Angeles	Selman-Breitman	Scottsdale Insurance	03/08/02
64	1146-C	Layton v. Fairway Village	Orange	Murtaugh Miller Meyer & Nelson	Layton	04/10/02
65	967-N	Winchester Maint. Corp. v. Warmington Lake Mead Assoc.	Clark	Hutchison & Steffen	Sunstate Landscape & Lawn, Inc.	04/22/02
66	1110-N	Elan HOA v. Picerne Construc.	Clark	Helm & Helm	KFX	04/30/02
67	823-N	Winchester Maint. Corp v. Warmington Lake Mead Associates	Clark	Bremer, Whyte, Brown & O'Meara	Gary G. Day Construction Inc.	05/01/02
68	824-N	South Bay Condo HOA v. GT Construction Inc.	Clark	Bremer, Whyte, Brown & O'Meara	R.W. Stucco	05/06/02
69	1193-C	KB Brown Construction v. Don McClusky Plastering	Los Angeles	Early, Maslach & Rudnicki	Don McClusky Plastering	05/13/02
70	735-C	Laing v. Ontario Homes	Los Angeles	Cummings & White	Tri-County Framers	05/14/02
71	1091-C	Laing v. Ontario Homes	Los Angeles	Brady, Vorwerck & Ryder	Selectile	05/23/02
72	903-C	Windwards HOA v. John Laing Homes	Orange	Law Offices of William I. Chopak	Reliable Interiors	06/18/02
73	1223-C	Saucerman (Cook) v. SV Partnership	Los Angeles	Andrews & Rhodes	Bottom Dollar Construction	06/20/02
74	1189-C	Gottfurcht v. American Motorists Insurance Co.	Los Angeles	Booth, Mitchel & Strange	Jack Knight DBA K&S Corp.	07/02/02
75	1127-C	Cardona v. LH Venture No. 1, et al.	Orange	Kring & Brown	Schetne Drywall	07/03/02
76	1606-N	Woods v. WCB Investments, Inc.	Clark	Law Offices of William C. Turner & Assoc.	Quality One Marble & Granite	09/03/02
77	1315-C	Yanez v. Sulley-Miller Contracting, et al.	Los Angeles	Koeller, Nebeker, Carlson & Haluck	Matt Construction	09/24/02
78	812-C	Blaylock v. The Stratham Group	San Bernardino	Booth, Mitchel & Strange		10/11/02
79	815-N	Alcantara v. Palm Gardens Ltd.	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	CEDCO, Inc.	10/14/02
80	925-C	Price v. The Coast	Orange	Gray, York & Duffy	The Coast HOA	10/22/02
81	959-N	Eising v. Santa Fe Village One Ltd.	Clark	Bremer, Whyte, Brown & O'Meara, LLP	Pratte Development Co.	10/28/02
82	1083-C	El Escorial v. Santa Barbara	Santa Barabara	Dale, Braden & Hinchcliffe	D.L.C. Plastering	12/10/02
83	1183-C	Lincoln v. Olympia & Chase	Los Angeles	Morris, Polich & Purdy	Leppert Engineer Co.	01/09/03
84	1111-N	Nelson (Ovations) v. Terra West Development	Clark	Bremer, Whyte, Brown & O'Meara, LLP	Sunstate Landscape & Lawn Inc.	01/28/03
85	1288-N	Capital Pacific Homes v. Champion Masonry	Clark	Hutchison & Steffen	Champion Masonry	01/29/03
86	1395-C	Clarendon v. Integrated Sign Associates	Los Angeles	Prindle, Decker & Amaro	Integrated Sign Assoc.	01/31/03
87	948-N	Canyon Willow Pecos v. Torino Construction	Clark	Lyles & Hawley	Centennial Drywall	03/04/03
88	1216-C	Pacifico v. Construction Technicians	Orange	Borton, Petrini & Conron	Greenscapes Installation	03/07/03
89	934-N	Patricia & Guy Maillaro v. Pacific Southwest Development, et al.	Clark	Bremer, Whyte, Brown & O'Meara, LLP	Buckroff Masonry	03/20/03
90	1158-C	Spile v. Toll Bros	Los Angeles	Selman-Breitman	Toll Bros.	03/27/03
91	879-C	Hendry, et al. v. 396 Investment Company, et al.	Orange	Breidenbach, Buckley, Huchting & Hamblet	Standard Concrete Products, Inc.	03/28/03
92	745-N	Canyon Willow v. Torino Construction	Clark	Hanlon & Associates	Martinez Masonry	04/01/03
93	1426-N	Canyon Willow v. Torino Construction	Clark	Springel & Fink	Drywall Unlimited	04/15/03

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
94	1378-N	Peccole Ranch HOA v. Peccole Ranch Partnership	Clark	Tharpe & Howell	Bill Young's Masonry	05/07/03
95	1226-C	Ivan v. City of Anaheim	Orange	James R. Traut/ Eric V. Traut	Ivan	06/17/03
96	1121-N	Culbertson v. Capital Pacific Homes, et al.	Clark	Law Offices of Melissa P. Harris	Marv Black Masonry	07/07/03
97	1154-N	Sahara Mountain v. Las Brisas	Clark	Thagard & Brown	Nevada Gypsum Floors	07/07/03
98	1316-N	Culbertson v. Capital Pacific Homes, et al.	Clark	Law Offices of Cisneros & Associates	Pacific Stucco, Inc.	07/08/03
99	1211-N	Culbertson v. Capital Pacific Homes, et al.	Clark	Law Offices of Michael R. Merritt	Road Runner Drywall	07/21/03
100	1554-N	Sahara Mountain v. Las Brisas	Clark	Thagard & Brown	Nevada Gypsum Floors	07/21/03
101	1507-C	701 Ocean Ave. Condo Assoc. v. Edward Properties, Inc.	Los Angeles	Murchison & Cumming	Brad Knapp Construction	08/15/03
102	1489-N	Olen Res. v. Robt. V. Jones - Eagle Trace	Clark	Helm & Associates	1st Premier Drywall	08/19/03
103	1526-C	Ottenstein, Adam S. v. City of Long Beach, et al.		Law Offices of John P. Donovan	Sully Miller Contracting Co.	08/21/03
104	1292-N	Raintree West HOA v. Falcon Homes	Clark	Helm & Associates	Gary G. Day Construction Inc.	09/03/03
105	1626-C	Hayward v. LAUSD	Los Angeles	Monteleone & McCrory	Hayward Construction	09/23/03
106	979-N	Pacific Legends East v. Pacific Homes	Clark	Thorndal, Armstrong, Delk, Balkenbush & Eisinger	AR Ornamental	10/01/03
107	1322-C	Bullon v. 396 Investment Co.	Orange	Brady, Vorwerck, Ryder & Caspino	Mock Concrete, Inc.	10/13/03
108	1674-C	HNTB Design/Build v. Linclon Santa Monica	Los Angeles	The Rodarti Group	Lincoln Santa Monica	10/27/03
109	1534-N	Pacific Legends East HOA v. Pacific Properties	Clark	Bremer, Whyte, Brown & O'Meara	Centurion Security Systems, Inc.	11/05/03
110	801-N	Pacific Legends East v. Pacific Homes	Clark	Bremer, Whyte, Brown & O'Meara	B&B Framing	11/05/03
111	1060-N	Chambers v. Landis Development	Clark	Bremer, Whyte, Brown & O'Meara	Performance Plastering	11/10/03
112	1680-N	Palermo HOA v. Kimball Hill Homes	Clark	Bremer, Whyte, Brown & O'Meara	Milgard Manufacturing	11/10/03
113	878-N	Palermo HOA v. Kimball Hill Homes	Clark	Tharpe & Howell	Road Runner Drywall	11/10/03
114	1448-C	Tarbet v. State Farm	San Diego	Robie & Matthai	State Farm	02/05/04
115	1230-C	Bergstrom v. John Dear, et al.	Orange	Bonetati, Sasaki, Kincaid & Kincaid	Bergstrom Construction	03/29/04
116	1210-C	Los Altos Trust/Jacques Gendreau v. Birtcher Construction	Los Angeles	Law Offices of Linda M. Libertucci	Custom Metal Fabricators, Inc.	04/02/04
117	1749-N	Sun City Summerlin Development (Silver) v. Del Webb	Clark	Helm & Associates	MS Concrete	04/29/04
118	1799-N	Newport Townhomes Owner's Association v. Newport Townhomes, LP, et al.	Clark	Law Offices of Cisneros & Associates	Dan Bradley Glass Shop	04/30/04
119	1326-C	Castron v. Fieldstone Pacific Ltd. Partners	Orange	Andrews & Rhodes	Standard Concrete Products, Inc.	06/21/04
120	1878-N	Wilborn v. D.R. Horton	Clark	Springel & Fink	M & M Construction	07/28/04
121	1441-C	Laskey v. Blvd. Development, et al.	Orange	Murtaugh Miller Meyer & Nelson	Shelly Imperial & Everett C. Reid dba Specialty Construction	08/02/04
122	1825-C	Dorus v. Barratt American Inc., et al.	Los Angeles	Law Offices of Aaron B. Booth	Rancho Framing	08/31/04
123	1627-N	Terrasanta COA. v. Frey Development	Clark	Bennion & Clayson	WTW Enterprises	09/07/04
124	1924-C	Bell, Michael v. Friess Company Builders, Inc., et al.	Orange	Lewis, Brisbois, Bisgaard & Smith	Friess Company Builders, Inc.	09/09/04

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
125	1861-C	Torres v. Savala Equipment	Los Angeles	Morris, Polich & Purdy	Griffith Co.	09/10/04
126	1726-C	Buzzerio v. Kaufman & Broad Home	Los Angeles	Borton, Petrini & Conron	Corbin Custom Tile, Inc.	09/29/04
127	1346-N	Afong v. Falcon Homes, Inc.	Clark	Bremer, Whyte, Brown & O'Meara	Sierra Fireplace	11/23/04
128	1993-C	Criswell, Timothy v. Pinnacle Construction	Orange	Bonetati, Sasaki, Kincaid & Kincaid	Pinnacle Construction	11/24/04
129	1616-N	Pueblo @ Santa Fe v. Pueblo LLC	Clark	Hutchison & Steffen	Sparks Plastering & Drywall	11/29/04
130	1966-C	California Renaissance v. Boyce Bates	Orange	Murtaugh, Meyer, Nelson & Treglia		11/30/04
131	2028-C	Allstate v. Crown Plumbing	Orange	Bonetati, Sasaki, Kincaid & Kincaid	Rodeo Homes	12/27/04
132	1758-A	Power v. Jackson	Maricopa	Rai & Barone	Superior Drywall	02/11/05
133	747-N	Legacy Legends v. Pacific Properties	Clark	Bremer, Whyte, Brown & O'Meara	Nevada Gypsum Floors, Inc.	02/12/05
134	1771-C	Valbuena v. CR Shelton Construction	San Bernardino	Murtaugh, Meyer, Nelson & Treglia		02/23/05
135	1616-N	Pueblo @ Santa Fe v. Pueblo LLC	Clark	Hutchison & Steffen	Sparks Plastering & Drywall	03/09/05
136	1729-C	Portofino v. Van Daele Development	San Bernardino	Borton, Petrini & Conron	Riverside Landscape & Irrigation, Inc.	04/28/05
137	1032-N	Carlisle v. Pardee Construction	Clark	Bremer, Whyte, Brown & O'Meara	Bronco Construction	05/05/05
138	1714-N	Scottsdale Valley v. Templeton Development	Clark	Law Offices of Melissa P. Harris	Bill Tieman Painting & Drywall	05/26/05
139	1954-N	Villa Pacifica HOA v. Distinctive Homes	Clark	Springle & Fink	BelAir Plastering	06/10/05
140	1703-N	Olen Residential Realty Corp. (Durango Canyon Apts.) v. Addison Construction	Clark	Law Offices of Cisneros & Associates	Imperial Iron	07/25/05
141	1918-A	Mirage Park Resort Casitas HOA v. Mirage Homes, LLC, et al.	Maricopa	Bremer, Whyte, Brown & O'Meara	Marlam Industries	08/03/05
142	2065-A	Mirage Park Resort Casitas HOA v. Mirage Homes, LLC, et al.	Maricopa	Bremer, Whyte, Brown & O'Meara	Genesis Fireplace Protection, Inc.	08/03/05
143	2210-C	Griffen Dayton-Sloat v. K. Hovnanian Forecast Homes	San Bernardino	Lewis, Brisbois, Bisgaard & Smith	B.G. Israel Construction, Inc.	08/15/05
144	2081-N	Canyon Willow Tropicana v. Canyon Willow Tropicana, LLC	Clark	Helm & Associates	Gerald Stewart Concrete (Fed.)	08/17/05
145	2105-N	Canyon Willow Tropicana v. Torino Construction	Clark	Fredrickson, Mazeika & Grant, LLP	Kukurin Concrete, Inc.	08/17/05
146	1358-C	Community of Christ v. Austin Jones	Los Angeles	Murtaugh, Meyer, Nelson & Treglia	Community of Christ	08/23/05
147	1648-C	Carmelo v. US Homes Corporation, et al.		Crawford Technical Services	Flinn Construction	09/08/05
148	2157-C	Amoroso v. Navigator	Los Angeles	Selvin - Wraith - Halman	PMC Concrete Finishes	09/13/05
149	1834-N	Cernuto, et al. v. Sutton Corporation		Brady, Vorwerck, Ryder & Caspino	Framecon, Inc.	09/26/05
150	2261-C	Escobar v. USC	Los Angeles	Reback, McAndrews & Kjar	USC	09/29/05
151	1739-C	Chen v. Ridgemoor Partners, L.P.	Los Angeles	Wood, Smith, Henning & Berman	Catellus Residential Ridgemoor, Inc.	10/26/05
152	1697-C	Brame v. Curtis Development	Orange	Wood, Smith, Henning & Berman	Curtis Development	11/02/05
153	1963-A	Harmon, et al. v. Beazer Homes Arizona, Inc.	Maricopa	Bremer, Whyte, Brown & O'Meara	A&G Construction	11/18/05

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
154	2053-A	Tapadero at DC Ranch COA v. Edmunds-Toll Construction	Maricopa	Bremer, Whyte, Brown & O'Meara	LeBlanc Building Co., Inc.	01/06/06
155	2277-N	Cheyenne Hills at Southfork v. Westgate Properties	Clark	Bremer, Whyte, Brown & O'Meara	Magnum Air	01/16/06
156	2179-A	Hoffman, et al. v. Shea Homes, et al.		Bremer, Whyte, Brown & O'Meara	Sharp Drywall	01/27/06
157	2151-N	Madrid Estates (Galper) v. Rhodes Design & Development	Clark	Helm & Associates	CEDCO, Inc.	05/22/06
158	2398-C	Abuqartoumy v. Modern Roofing	Orange	Prindle, Decker & Amaro	Modern Roofing, Inc.	05/24/06
159	1735-N	Sun City Macdonald Ranch v. Del Webb	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Development Co.	06/01/06
160	2208-N	Northshore Reflections HOA v. Pulte Homes	Clark	Emerson & Manke	Hirschi Masonry	06/09/06
161	2245-A	Canelaria v. UDC Homes Construction	Maricopa	Rai & Barone	Valley Wide Plastering	06/12/06
162	2321-N	Altair HOA v. Allen Group (Finisterre)	Clark	Bremer, Whyte, Brown & O'Meara	Hutchins Drywall	07/06/06
163	2451-N	Galleria Villa Condominium v. Gray Castle Land, Inc.	Clark	Bremer, Whyte, Brown & O'Meara	Dan Bradley Glass Shop	10/06/06
164	2575-N	Westgate Properties	Clark	Helm & Associates	Diamond Construction	10/06/06
165	2033-C	Chin v. Centex	Orange	Borton, Petrini & Conron	Corbin Custom Tile, Inc.	10/18/06
166	1694-C	Pouk v. Taylor Woodrow Homes	San Diego	Koenig Jacobsen	Leighton & Associates	04/11/07
167	2645-N	Villagio Community Assoc. v. Highland Development	Clark	McCormick Barstow	T & R Paint and Drywall	04/18/07
168	2479-N	Villagio Community Assoc. v. Highland Development	Clark	Cuenther & Castronova	Nevada State Plastering	04/18/07
169	2237-C	Carlsbad Pacific Resort c. Koll Construction	San Diego	Selman-Breitman	Cal West Enterprises	05/21/07
170	2217-A	Amukamara v. Forecast Residential Sales	Maricopa	Bremer, Whyte, Brown & O'Meara, LLP	Red Mountain Development Co.	06/07/07
171	2576-A	Dancy v. Ryland Homes	Maricopa	Bremer, Whyte, Brown & O'Meara, LLP	Palo Verde Plastering	06/07/07
172	2711-C	Delgado v. Verdugo	Los Angeles	Selman-Breitman	Verdugo & Associates	06/13/07
173	2553-C	Benjy v. EGL	Orange	Koenig Jacobsen	Environmental Geotechnology Laboratory, Inc.	07/12/07
174	2848-C	Abrams v. Kleinfelder	Los Angeles	Meyers-McConnell	Kleinfelder	07/16/07
175	2735-N	Fiesta Maintenance v. Warmington-Nevada, Inc.	Clark	Helm & Associates	Champion Drywall	07/23/07
176	2794-N	Fiesta Maintenance v. Warmington-Nevada, Inc.	Clark	Bremer Whyte Brown & O'Meara, LLP	Guy Evans	07/23/07
177	2737-C	Bristman v. Western Trucking	Orange	McClellan Law Firm	Bristman	09/24/07
178	2421-A	Astragal Condo v. Astragal, LLC	Maricopa	Rai & Barone	Diversified Drywall	12/06/07
179	1992-N	Sun City Summerlin Development v. Del Webb	Clark	Helm & Associates	CEDCO, Inc.	02/12/08

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
180	2201-N	Sun City Summerlin Development v. Del Webb	Clark	Helm & Associates	Apple Masonry	02/12/08
181	2355-N	Sun City Summerlin Development v. Del Webb	Clark	Bremer, Whyte, Brown & O'Meara	Golf Links Limited	02/12/08
182	2661-N	Sun City Summerlin Development v. Del Webb	Clark	Springel & Fink	Pete King	02/12/08
183	2544-C	Pulte Home Corp. v. Signs & Pinnick, Inc.	Orange	Ulich & Terry	Sign & Pinnick	03/14/08
184	2726-N	Amber Ridge v. Highland	Clark	Thagard & Brown	MPC Contracting	06/13/08
185	2919-C	Ketterling v. J & S Excavating, Inc.	Los Angeles	Sweeney, Mason, Wilson & Bosomworth	J & S Excavating	06/27/08
186	2867-C	Abatti-Harlow v. Wildflower North	San Diego	Selman-Breitman	Southern Building & Concrete	07/18/08
187	3065-N	Molina, et al. v. Celebrate Homes, et al.	Clark	Bremer, Whyte, Brown & O'Meara	Continental Landscape & Sprinkler Co., Inc.	07/24/08
188	2999-C	Jacobsen v. Ziccardi	Orange	Haight, Brown & Bonesteel	Ziccardi	08/01/08
189	3223-C	Clifford Palmer v. Kajima Construction	Los Angeles	Meyers-McConnell	Kajima Construction	10/02/08
190	2790-C	Spencer v. KB Homes	San Diego	Timothy N. Thompson Law Offices	North Orange Coast Painting	10/03/08
191	2152-N	Tara Villas HOA v. Falcon Homes, Inc.	Clark	Helm & Associates	Performance Plastering	10/27/08
192	2951-N	Yoshida v. Vinyl Installations, Inc.	Clark	Helm & Associates	Yoshida v. Vinyl Installations, Inc.	11/13/08
193	2886-N	Chateau Nouveau Condo v. Chateau Flamingo	Clark	Bremer, Whyte, Brown & O'Meara	Norpac Construction	11/13/08
194	3285-A	Sycamore Hills Estates	Maricopa	Rai & Barone	AV Excavation	12/15/08
195	3212-C	Vogel v. O'Donovan	Los Angeles	Grant, Genovese & Baratta	CERC & Craig Emil-Louis Bordon	01/05/09
196	2941-C	August Construction v. Brent Engineering	Los Angeles	Callahan & Blaine	Brent Engineering	01/21/09
197	3099-C	Skyrise Construction v. Les Young & Associates	Los Angeles	Wood, Smith, Henning & Berman	Skyrise Construction	02/11/09
198	3298-N	Kitec Fitting Litigation	Clark	Helm & Associates	D.R. Bowles Plumbing	02/12/09
199	3334-N	Kitec Fitting Litigation	Clark	Parker, Nelson & Associates	Classic Plumbing	02/12/09
200	3335-N	Kitec Fitting Litigation	Clark	Parker, Nelson & Associates	Rite Way Plumbing	02/12/09
201	3336-N	Kitec Fitting Litigation	Clark	Parker, Nelson & Associates	Sharp Plumbing	02/12/09
202	3380-C	Rovira v. Tralor-Kemper JV	Los Angeles	The Bell Firm	---	02/27/09
203	3406-C	Acceptance Insurance v. Century Surety	Los Angeles	Jampol, Zimet, Skane & Wilcox	Acceptance Insurance	03/27/09
204	2582-C	Steinberg v. Taylor Woodrow Homes	Orange	Weil & Drage	KTGY Group	03/30/09
205	3422-C	Ingels v. One Tractor Doze It All	San Diego	Koenig & Jacobsen	The Soils Company	04/22/09
206	3211-N	Farias v. Stanpark Construction	Clark	Bremer, Whyte, Brown & O'Meara	Landscape Services	04/24/09
207	3202-C	Archstone-Smith Opertating Trust v. Western National Construction	Orange	Murtaugh, Meyer, Nelson & Treglia	Architects Orange	04/27/09
208	3162-N	Farias v. Stanpark Construction	Clark	Bremer, Whyte, Brown & O'Meara	R.W. Stucco	05/19/09
209	2209-N	Seven Hills Master Community Assoc.	Clark	Helm & Associates	CEDCO, Inc. / CEDCO Iron, Inc.	05/26/09
210	3039-A	Anderson v. Forecast/KB Home	Maricopa	Rai & Barone	Metric Roofing	05/29/09
211	3070-C	Sacramento Hotel Partners, LLC v. Swinerton Builders	Sacramento	Bremer, Whyte, Brown & O'Meara	GJH Rebar	06/22/09
212	3205-N	Cagle v. Pulte Homes	Clark	Helm & Associates	M&M Construction	07/09/09

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
213	3453-C	Wright v. Metropolitan Life	Orange	Osman & Associates	Metropolitan Life Insurance	07/20/09
214	2893-C	TDIC v. Langner Security	Los Angeles	Pegasus Claims Services	The Dentist, Inc. Company	07/24/09
215	3270-C	Del Mar Terrace, Inc. v. Nevis Homes LLC	Los Angeles	Selman-Breitman	SYBD Construction	08/29/09
216	3394-N	Girton v. Silverwing	Washoe	Erickson Thorpe	Diversified Painting	09/17/09
217	3390-C	Malcolm Drilling v. Clark Construction	Los Angeles	Koeller, Nebeker, Carlson & Haluck	Clark Construction	09/21/09
218	3544-C	Robert Berry v. R.J. Noble, et al	Orange	Traut Firm	Berry	09/22/09
219	3562-C	BWA Financial v. PCL Construction	San Diego	Springel & Fink	Action Glass & Mirror	10/19/09
220	3573-N	Westpark Associates, LLC.v. Westpark Owners Association	Clark	Bremer, Whyte, Brown & O'Meara	RAMM	10/30/09
221	3356-A	Estrella Park v. D.R. Horton	Maricopa	Rai & Barone	Swiss Plastering	11/09/09
222	3552-C	Rubalcava v. Budimir	Los Angeles	Selman-Breitman	Budimir	12/11/09
223	3108-C	Murray v. Vincent M. DeVico, et al.	Los Angeles	Archer-Norris	O'Rourke Construction, Inc.	12/21/09
224	3395-N	Pahor v. Red Rock Homes	Clark	Stutz, Artiano, Shinoff & Holtz	KB Framers	12/28/09
225	3396-N	Pahor v. Red Rock Homes	Clark	Stutz, Artiano, Shinoff & Holtz	K&K Door & Trim	12/28/09
226	3448-N	Pahor v. Red Rock Homes	Clark	Stutz, Artiano, Shinoff & Holtz	Adams Bros	12/28/09
227	3647-N	Pahor v. Red Rock Homes	Clark	Hansen Rasmussen	Bobby Stephens Masonry	12/28/09
228	3246-N	Bowers v. Southwest Homes, et al.	Clark	Hurtik & Manke	Westcor Construction	12/30/09
229	3447-C	Covenant Builders v. Newman	San Diego	Murtaugh, Meyer, Nelson & Treglia	Covenant Builders	02/15/10
230	3268-A	Sirrah Enterprises v. Wunderlich, et al.	Maricopa	Bremer, Whyte, Brown & O'Meara	Sirrah Enterprises, LLC	02/17/10
231	3185-N	Starfire Condominium Owners Association v. Deznan Contractors, Inc.	Clark	Thagard, Reiss & Brown	Wright Painting & Drywall	02/24/10
232	3371-C	Arroyo v. Frontier Homes	Orange	Letofsky-McClain	Campbell Concrete	03/03/10
233	3622-A	Ramsey v. Construction Management Group 3	Maricopa	Rai & Barone	Construction Management Group 3	03/23/10
234	3590-C	AV Builder v. Laguna Village Owners' Association	San Diego	Murtaugh, Meyer, Nelson & Treglia	Pulaski Arita Olsson DBA PAO	03/24/10
235	3325-N	Chateau Versailles Condo Assoc. v. Pacific Contractors (Chateau Alexander)	Clark	Bremer, Whyte, Brown & O'Meara	VEG Landscaping Corp.	04/26/10
236	3266-N	Chateau Versailles Condo Assoc. v. Pacific Contractors (Chateau Alexander)	Clark	Bremer, Whyte, Brown & O'Meara	Framing Bros. Inc.	04/26/10
237	3553-N	Coronado Ranch Street v. American West Homes	Clark	Hansen Rasmussen	Bobby Stephens Masonry	05/03/10
238	3275-N	Turtle Creek HOA v. Centex Homes	Clark	Helm & Associates	All Seasons Glass	05/05/10
239	3204-N	Chateau Versailles Condo Assoc. v. Pacific Contractors (Chateau Alexander)	Clark	Stutz, Artiano, Shinoff & Holtz	Norpac Construction	05/19/10
240	3421-N	Kasly Family Revokable Trust v. Distinctive General Contracting	Clark	Carraway & Associates	Deck Systems Nevada	05/26/10
241	3664-C	Ortiz v. Southern California Edison	Los Angeles	Murphy, Pearson, Bradley & Feeney	RL Clotworthy Construction	05/28/10
242	3586-C	Gregory v. City of Los Angeles	Los Angeles	Braden, Hinchcliffe & Hawley	MCM Construction	06/17/10
243	3587-C	Gellis v. City of Los Angeles	Los Angeles	Braden, Hinchcliffe & Hawley	MCM Construction	06/17/10

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
244	3681-C	Wess v. City of Los Angeles	Los Angeles	Braden, Hinchcliffe & Hawley	MCM Construction	06/17/10
245	3682-C	Vartapetova v. City of Los Angeles	Los Angeles	Braden, Hinchcliffe & Hawley	MCM Construction	06/17/10
246	3807-N	Kitec Fitting Litigation	Clark	Parker, Nelson & Associates	Pyramid Plumbing	10/08/10
247	3688-N	Afusia v. Phillips	Clark	Brown, Bonn & Friedman	Pacificap Construction Services, LLC	10/27/10
248	3499-C	Arriola v. Sepulveda	Los Angeles	Murtaugh, Meyer, Nelson & Treglia	George Adams, Jr.	10/28/10
249	3498-N	Latigo v. Oxbow Construction	Clark	Brown, Bonn & Friedman	RW Stucco	11/08/10
250	3454-N	Barbarino v. D.R. Horton	Clark	Helm & Associates	Gary G. Day Construction	11/12/10
251	3634-A	Bradbury; Lumberjack Hill Apt v. CVS	Maricopa	Rai & Barone	Central Valley Specialty	12/08/10
252	3349-C	Archibald v. K. Hovnanian	Orange	Letofsky-McClain	Campbell Concrete	12/09/10
253	3802-A	Cachet at Las Sendas COA v. SCLS, et al.	Maricopa	Rai & Barone	Metric Roofing	12/20/10
254	3881-A	Cachet at Las Sendas COA v. SCLS, et al.	Maricopa	Rai & Barone	Energy Efficient Windows & Doors	12/20/10
255	3848-C	Morris v. Steven Ehrlich Architects, et al. (Bernards Brothers)	Orange	Letofsky - McClain	Bernards Brothers, Inc.	01/18/11
256	3585-C	Aguilar v. Victoria Place	San Diego	Selman-Breitman	CR Schreiber	02/09/11
257	3903-C	Tidus v. Hohmann	Orange	Murtaugh, Meyer, Nelson & Treglia LLP	David Hohmann	03/02/11
258	3814-A	Cosgrove Residence v. WTM Construction	Maricopa	Rai & Barone	ANM Enterprise	03/14/11
259	3815-A	Cosgrove Residence v. WTM Construction	Maricopa	Rai & Barone	Canyon State Lathe & Plaster	03/14/11
260	3979-C	Gutierrez v. R.D. Olson	Orange	Koeller, Nebeker, Carlson, Haluck	R.D. Olson	03/31/11
261	3542-N	Allen (Siena) v. Sun Colony Summerlin	Clark	Stutz, Artiano, Shinoff & Holtz	Adams Bros	06/03/11
262	2886-N	Chateau Nouveau Condo v. Chateau Flamingo	Clark	Bremer, Whyte, Brown & O'Meara	Norpac Construction	06/08/11
263	3948-N	Chateau Nouveau Condominium Unit-Owner's Association v. Chateau Flamingo LLC	Clark	Lincoln, Gustafson & Cercos	Viega	07/22/11
264	3885-A	Kerby Estates v. Continental Homes II	Maricopa	Rai & Barone	Palo Verde Plastering	08/15/11
265	3932-A	Kerby Estates v. Continental Homes II	Maricopa	Rai & Barone	Swiss Plastering & Interiors	08/15/11
266	2816-N	Fisher/Trigger/Stott (Sun City Anthem) v. Del Webb	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Development	08/31/11
267	3566-N	Fisher (Sun City Anthem) v. Del Webb Communities	Clark	Helm & Associates	CEDCO	08/31/11
268	4122-C	Garcia v. Maya	Orange	Koeller, Nebeker, Carlson, Haluck	Maya Steel Fabricators	09/08/11
269	4004-A	Hancock v. Arizona Plumbing	Maricopa	Rai & Barone	Arizona Plumbing	09/09/11
270	4107-C	FFIC (Schack) v. CA Perez	Orange	Wood, Smith, Henning & Berman	Franke Consumer Products	09/13/11
271	3978-N	Desert Pine Villas HOA v. Desert Pines Associates, LLC	Clark	Sinkeldam	KFX Building Products	10/06/11
272	3502-N	Desert Pine Villas HOA v. Desert Pines Associates, LLC	Clark	Bremer, Whyte, Brown & O'Meara	Nevada Landscape Corp., Inc.	10/06/11
273	3234-N	Sun City Anthem(Common Area) Community Association	Clark	Helm & Associates	CEDCO, Inc.	11/03/11
274	3812-C	Halpern v. Good	Orange	Archer-Norris	The Goods	11/09/11
275	3300-N	Arndt (Mitchell) v. D.R. Horton, Inc.	Clark	Bremer, Whyte, Brown & O'Meara	Bel-Air Plastering, Inc.	11/11/11

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
276	3781-A	Aguilar v. KB Homes (Arizona Groves / Greenway Parc)	Maricopa	Rai & Barone	Palo Verde Plastering	12/14/11
277	3850-C	Barrientos v. McMillin Cielo Azul, LLC	San Diego	Selman Breitman	C.R. Schreiber Construction	12/20/11
278	4055-C	Barrientos v. McMillin Cielo Azul, LLC	San Diego	Letofsky - McClain	Wilkinson Fine Grading	12/20/11
279	4056-C	Barrientos v. McMillin Cielo Azul, LLC	San Diego	Letofsky - McClain	West Coast Landscaping	12/20/11
280	3540-C	East Los Angeles Community College	Los Angeles	Feldman & Associates	Morillo Construction, Inc.	01/11/12
281	3900-N	Sure Steel v. Virgin Valley Ventures	Clark	Stutz, Artiano, Shinoff & Holtz	Sunroc Corporation	01/16/12
282	3441-C	Campbell v. K. Hovnanian Forecast Homes	Los Angeles	Bremer, Whyte, Brown & O'Meara	Stucco Contractors, Inc.	01/01/12
283	4143-C	Davidson v. Chadwick	Los Angeles	Murtaugh, Meyer, Nelson & Treglia LLP	Norman Davidson	02/06/12
284	3515-N	Southern Nevada Paving v. Turnberry Sub, LLC	Clark	Bremer, Whyte, Brown & O'Meara	Sage Construction	02/29/12
285	4174-N	Bransky (Whisper Creek) v. WL Homes LLC dba John Laing Home	Clark	Bremer, Whyte, Brown & O'Meara	M&M Construction	03/16/12
286	3872-N	McClintock v. Del Webb	Clark	Stutz, Artiano, Shinoff & Holtz	Adams Bros	03/29/12
287	3842-A	Alamosa Ranch, LLC v. Antimite Arizona, Inc. dba SOS Exterminating	Pima	Lewis Brisbois Bisgaard & Smith LLP	SOS Exterminating	04/05/12
288	4079-A	Travelers Insurance v. Native Tucson Builders	Maricopa	Rai & Barone	Native Tucson Builders	04/10/12
289	3752-C	Athens Services v. Hertlein Industries	Orange	Archer-Norris	Athens Services	04/19/12
290	4262-C	Pavon v. Glaeser Builders	Orange	Koeller, Nebeker, Carlson, Haluck	Glaeser Management	04/30/12
291	3926-A	Hambro v. Royal Homes & Associates	Maricopa	Rai & Barone	Diversified Roofing	06/14/12
292	3904-A	Silverbell 290 v. Scott Homes Multifamily, Inc.	Pima	Rai & Barone	Littleton Roofing	07/09/12
293	3991-A	Richmond American Homes v. 3-G Construction (Saguaro Canyon)	Maricopa	Bremer, Whyte, Brown & O'Meara	Schuck & Sons	07/10/12
294	3997-A	Richmond American Homes v. 3-G Construction (Saguaro Canyon)	Maricopa	Rai & Barone	Diversified Roofing	07/10/12
295	4274-A	Richmond American Homes v. 3-G Construction (Saguaro Canyon)	Maricopa	Rai & Barone	Roof Rite	07/10/12
296	4275-A	Richmond American Homes v. 3-G Construction (Saguaro Canyon)	Maricopa	Rai & Barone	Sun Master Masonry	07/10/12
297	4218-C	Slayton v. Ruscha	Los Angeles	Montelone & McCory	Edward Ruscha	07/17/12
298	3902-C	Famosa v. Pacific Century Homes	Imperial	Burch & Cracchiolo	C.R. Schreiber Construction	08/06/12
299	4287-N	Jacobson v. Del Webb	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Development	08/30/12
300	4097-N	Big-D Construction Corp v. Take It For Granite Too	Clark	Lewis Brisbois Bisgaard & Smith LLP	Take It For Granite Too	09/05/12
301	4203-C	Seabridge Market Place v. Moorefield Construction, Inc.	Ventura	Archer-Norris	Seabridge Market Place	11/06/12
302	4260-C	Morehouse v. Law Steel	San Berdardino	Koenig & Jacobsen	Southern California Conference of 7th Day Adventists	11/09/12
303	4037-C	Alem v. Owens	Orange	Murtaugh, Meyer, Nelson & Treglia LLP	Halton Corporation	11/21/12
304	4353-A	Smith v. City of Phoenix	Maricopa	Rai & Barone	Artesa Holdings LLC and Artesa Homeowners Association	11/28/12

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
305	3931-N	Blackhawk HOA v. Centennial	Maricopa	Lincoln, Gustafson & Cercos	Nelstar & Associates	01/15/13
306	4467-N	Arvie v. Beazer	Clark	Bremer, Whyte, Brown & O'Meara	Coast West Plumbing	02/15/13
307	4523-C	Coto Valley Office Complex, LLC v. Coto de Caza Community Association	Orange	Lewis Brisbois Bisgaard & Smith LLP	Coto De Caza Community Association	02/27/13
308	4022-C	Aberle v. Brookfield	Riverside	Liedle, Getty & Wilson	Campbell Concrete	03/04/13
309	3790-N	Marlin II v. Bentar Development	Clark	Lewis Brisbois Bisgaard & Smith LLP	Rafael Construction	03/19/13
310	4127-N	Evers v. Fairway Pointe	Clark	Hawkins Melendrez	Bronco Construction	03/28/13
311	3790-N	Marlin III v. Bentar Development	Clark	Lewis Brisbois Bisgaard & Smith LLP	Rafael Construction	04/12/13
312	4404-C	Lansberg v. Dorff	San Bernardino	Green & Hall	Lake Arrowhead Building Company	04/25/13
313	4269-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	F. Rodgers Insulation Residential, Inc.	07/18/13
314	4270-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Keenan, Hopkins, Suder & Stowell Contractors, Inc.	07/18/13
315	4271-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Sierra Glass & Mirror	07/18/13
316	4357-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Ebhard Southwest	07/18/13
317	4382-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Conti Electric	07/18/13
318	4383-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Desert Plumbing & Heating	07/18/13
319	4384-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Glasswall Construction	07/18/13
320	4385-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Hammond Caulking	07/18/13
321	4386-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Pahor Mechanical Contractors	07/18/13
322	4477-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Henri Specialties	07/18/13
323	4478-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	M. Marble	07/18/13
324	4479-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Henderson Masonry	07/18/13
325	4480-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Door & Hardware Management	07/18/13
326	4481-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Builders Unlimited	07/18/13
327	4482-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Skanska USA Building	07/18/13
328	4512-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Mechanical Insulation Specialists, Inc.	07/18/13
329	4513-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	North Star Fire Protection	07/18/13
330	4514-N	Turnberry Towers East HOA v. Turnberry Towers LP	Clark	Bremer, Whyte, Brown & O'Meara	Winair, Inc.	07/18/13
331	3762-N	Arrow Creek Village (Pierce/Hartman) v. Granite Pointe Associates	Clark	Helm & Associates	Groves Fischer	07/22/13
332	3563-N	Hundert v. Silverwing	Clark	Erickson Thorpe	Diversified Painting	07/22/13
333	4290-N	Sandoval v. D.R. Horton	Clark	Bremer, Whyte, Brown & O'Meara	Quality Wood Products	09/05/13
334	4149-N	McDowell (Montagne Marron) v. Beazer	Clark	Stutz Artiano Shinoff & Holtz	D&K Drywall	09/19/13

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
335	4625-C	Mekhail v. Dal-Tile	Los Angeles	Koeller, Nebeker, Carlson & Haluck	Garfield Developments, Ltd. / Karney Management Co.	09/20/13
336	3953-N	Weiss v. Del Webb	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Development	09/25/13
337	4638-C	Walter v. The Kroger Co., Inc., et al.	Orange	Bonetati & Kincaid	Lyn/Mar Company	09/26/13
338	4380-A	Montage COA v. Montecito Investment Company, LLC (Gray Construction)	Maricopa	Rai & Barone	Structures, Inc.	10/02/13
339	4445-A	Montage COA v. Montecito Investment Company, LLC (Gray Construction)	Maricopa	Rai & Barone	America Roofing	10/02/13
340	4249-C	Connor v. Centex Homes	San Diego	Letofsky-McClain	South Coast Equipment	11/04/13
341	3603-A	Oasis @ Magic Ranch	Maricopa	Rai & Barone	Daley Roofing	11/13/13
342	3604-A	Oasis @ Magic Ranch	Maricopa	Rai & Barone	Tucker Plumbing	11/13/13
343	3614-A	Oasis @ Magic Ranch	Maricopa	Rai & Barone	Swiss Plastering	11/13/13
344	3962-A	Oasis @ Magic Ranch	Maricopa	Rai & Barone	Diversified Roofing	11/13/13
345	4561-A	Oasis @ Magic Ranch	Maricopa	Welsh Law Group	Brewer Enterprises	11/13/13
346	4363-A	Porter Bros., Inc. (Spectrum Professional Village) v. Allstate Utility Construction, et al.	Maricopa	Rai & Barone	Custom Design Masonry	11/19/13
347	4364-A	Porter Bros., Inc. (Spectrum Professional Village) v. Allstate Utility Construction, et al.	Maricopa	Rai & Barone	San Tan Arizona Roofing	11/19/13
348	4089-N	Hass (Anderson) v. Bivins Construction (Eagle View)	Clark	Bremer, Whyte, Brown & O'Meara	GMS Concrete	12/10/13
349	4429-N	Hass (Anderson) v. Bivins Construction (Eagle View)	Clark	Wolfe & Wyman	Pioneer Plumbing	12/10/13
350	4557-N	D&J Family Trust v. Palm Canyon	Clark	Lewis Brisbois Bisgaard & Smith LLP	L&C Lath & Plastering dba Southern Nevada Stucco	12/18/13
351	4645-A	Powell v. Auto-Owners Insurance Company	Maricopa	Graif Barrett & Matura, P.C.	Auto-Owners Insurance Company	01/08/14
352	4730-C	Graff v. Alex & Polina Blyumkin as Trustees; Newform Construction	Los Angeles	Murchison & Cumming	Blyumkin and Newform	01/13/14
353	4392-N	IANEV, LLC v. Pirates Cove, LLC	Clark	Murchison & Cumming	Pirates Cove, LLC	01/14/14
354	4724-C	Bray v. Marciano, et al.	Orange	Wood, Smith, Henning & Berman	Finton Construction, Inc. and Timothy Smick	01/23/14
355	3704-N	Anthem Country Club HOA v. Terravita Homes Construction	Clark	The Marks Law Group	CEDCO	02/11/14
356	4648-A	Gallifant Cellars, LLC v Historic Palace Saloon	Maricopa	The Law Office of Daniel Beatty	Gallifant Cellars	03/12/14
357	4461-C	Freiter/Echafai v. Brookfield	Orange	Law Office of Kevin Pegan	Clarke Masonry	03/14/14
358	4314-N	Layman v. Beazer Homes Holdings Corp.	Clark	Brown, Bonn & Friedman	Wright Painting and Drywall	03/20/14
359	4466-N	Layman v. Beazer Homes Holdings Corp.	Clark	Lewis Brisbois Bisgaard & Smith	Desert Plastering	03/20/14
360	3176-C	TDIC v. Buon Gusto Ristorante	Orange	Watkins & Letofsky	The Dentist, Inc. Company	05/09/14
361	4779-N	Besanson v. V-Ditch Construction, Inc.	Orange	Bonetati & Kincaid	V-Ditch Construction, Inc.	06/09/14
362	4821-C	Loffarelli v. Encino Spa East HOA, et al.	Los Angeles	Murchison & Cumming	Mackey Construction	06/25/14
363	4826-C	Aubrey v. KB Home	Riverside	Archer Norris	Aquatic Co. fka Lasco Bathware, Inc.	06/30/14
364	4394-C	Mulitz v. Building Dreams Construction, Inc.	Los Angeles	Archer Norris	LA Stucco	07/24/14
365	4855-C	Moreno v. PCC La Jolla Palm	San Diego	Archer Norris	Aquatic Co. fka Lasco Bathware, Inc.	07/25/14

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
366	4848-C	Chang v. KB Home	San Diego	Archer Norris	Aquatic Co. fka Lasco Bathware, Inc.	07/25/14
367	4865-C	Regalado v. Callaghan, et al.	Riverside	Wood, Smith, Henning & Berman	Jeffrey Callaghan	08/25/14
368	4099-C	Chang v. KB Home	San Diego	Letofsky-McClain	South Coast Equipment	08/27/14
369	3938-N	Silverstone v. PN II (Kowalczyk/Amaral) v. PNII, Inc. dba Pulte Homes	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Development	11/10/14
370	4953-C	Vicente v. Heffesse	San Bernardino	Bonetati & Kincaid	Joseph Heffesse and LA Properties	11/21/14
371	4530-N	Houck v. PN II	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Concrete Construction, LLC	12/10/14
372	4847-A	Villas Northern Townhouse Association v. Cotton Commercial USA, Inc.	Maricopa	Springel & Fink, LLP	Cotton Commercial USA and Diversified Roofing Corp.	01/09/15
373	4866-N	Coghlan v. California Traditions, Inc.	Clark	Bremer, Whyte, Brown & O'Meara	Esslin Construction	02/09/15
374	3786-N	Sandstone Condominium HOA v. Sandstone Condominiums in Mesquite, NV, LLC et al.	Clark	Bremer, Whyte, Brown & O'Meara	Pride Construction	02/20/15
375	4030-N	Sandstone Condominium HOA v. Sandstone Condominiums in Mesquite, NV, LLC et al.	Clark	Helm & Associates	Redwall	02/20/15
376	4300-N	Sandstone Condominium HOA v. Sandstone Condominiums in Mesquite, NV, LLC et al.	Clark	Bremer, Whyte, Brown & O'Meara	Centennial Drywall Systems	02/20/15
377	4608-N	Western Tile & Marble v. Custom Building Products, Inc.	Clark	Lewis, Brisbois, Bisgaard & Smith	Custom Building Products, Inc.	02/24/15
378	3638-N	Cottonwood on Alexander HOA v. Chartered Development Corp.	Clark	Bremer, Whyte, Brown & O'Meara	Plaster Restoration Systems	02/27/15
379	3674-N	Cottonwood on Alexander HOA v. Chartered Development Corp.	Clark	Bremer, Whyte, Brown & O'Meara	GMS Concrete	02/27/15
380	4842-N	Cottonwood on Alexander HOA v. Chartered Development Corp.	Clark	Resnick & Lewis	SWF Foundations	02/27/15
381	4822-A	Grabowska v. Meritage Homes of Arizona, Inc.	Maricopa	Springel & Fink, LLP	Roadrunner Drywall	05/06/15
382	4841-A	Grabowska v. Meritage Homes of Arizona, Inc.	Maricopa	Rai & Barone	Empire Plastering	05/06/15
383	5027-A	Grabowska v. Meritage Homes of Arizona, Inc.	Maricopa	Russell & Associates	Heritage Interiors, Inc.	05/06/15
384	5028-A	Grabowska v. Meritage Homes of Arizona, Inc.	Maricopa	Rai & Barone	Sharp Drywall	05/06/15
385	4559-C	Irvine Apartments v. Western National Construction	Orange	Letofsky - McClain	AMPAM Parks Mechanical, Inc.	05/13/15
386	4867-A	Kilman, et al. v. Centex Homes	Maricopa	Lewis, Brisbois, Bisgaard & Smith	Kennington Plastering Nevada	05/22/15
387	5118-C	Adams v. Newport Crest Homeowners Association	Los Angeles	Grant, Genovese & Baratta, LLP	Newport Crest Homeowners Association	06/02/15
388	5108-C	Garcia v. Southern California Edison, et al.	Los Angeles	Tharpe & Howell, LLP	Tri-Gen Engineering, Inc. and Kenneth Yturalde	06/03/15
389	4959-N	Jackson v. Beazer Homes	Maricopa	Lewis, Brisbois, Bisgaard & Smith	Kennington Plastering Nevada	06/18/15
390	5062-C	Beckford v. KB Home Coastal, Inc.	Orange	Archer Norris	Aquatic Co. fka Lasco Bathware, Inc.	07/01/15
391	4528-N	Saria v. KB Home Nevada	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Development Company, Inc.	07/09/15
392	5037-N	Saria v. KB Home Nevada	Clark	Ray Lego & Associates	K&K Door & Trim	07/09/15
393	5109-C	Wheel Solutions, Inc. v. DCO Beach Walk, LLC	Orange	Archer Norris	DCO Beach Walk, LLC	07/15/15

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
394	5146-C	Scottsdale Indemnity v. Fitch Plastering	Orange	Selman-Breitman	Scottsdale Indemnity	08/05/15
395	4774-N	Eng v. Palm Canyon Development	Clark	Murchison & Cumming	Acrylic Tank Manufacturing	08/21/15
396	4774-N	Eng v. Palm Canyon Development	Clark	Murchison & Cumming	Acrylic Tank Manufacturing	08/26/15
397	3892-N	View of Black Mountain v. Beazer Homes	Clark	Bremer, Whyte, Brown & O'Meara	Desert Plastering	08/27/15
398	4801-N	La Posada Homeowners Assoc. v. Brussel Consulting Services	Clark	Castronova Law Offices, PC	Brussel Consulting Services	08/28/15
399	4720-N	Gonzalez v. KB Home (Bella Terra)	Clark	Lewis, Brisbois, Bisgaard & Smith	Harrison Landscape	09/28/15
400	4734-N	Adolph v. Beazer Homes	Clark	Bremer, Whyte, Brown & O'Meara	GMS Concrete	09/28/15
401	5096-N	Adolph v. Beazer Homes	Clark	Lewis, Brisbois, Bisgaard & Smith	Kennington Plastering Nevada	09/28/15
402	4985-N	Bedrosian v. Distinctive Homes	Clark	Brown, Bonn & Friedman	Drywall Systems, Inc.	10/15/15
403	5082-CO	Broomfield CO Senior Living Owner v. R.G. Brinkmann Company	Broomfield	White & Steele	Kleinfelder, Inc.	11/05/15
404	5226-N	Liu v. Christopher Homes	Clark	Chiu & Ferris	Nelstar & Associates, Inc.	11/24/15
405	4727-C	Garner v. Citibank	Orange	Koeller, Nebeker, Carlson & Haluck	Citibank, N.A. I Glendale Federal Bank	12/10/15
406	5214-C	The Geweke Family Partnership v. S.D. Deacon Corp of California	Sacramento	Clausen Miller	Reliable Louvers	01/14/16
407	5224-C	Picazzo v. C.W. Driver, Inc.	Los Angeles	Bullard, Brown & Beal	Anderson & Howard Electric Company	01/18/16
408	5363-C	Drinkard v. KB Home	Riverside	Letofsky - McClain	South Coasts Equipment	02/15/16
409	5100-N	KMK, LLC v. Fourteen Rings, LLC	Clark	Lewis, Brisbois, Bisgaard & Smith	Northwestern, Inc.	02/23/16
410	5227-N	Lopez v. Maya dba Avante Homes	Clark	Parker, Nelson & Associates	Vegas General	03/25/16
411	5228-N	Lopez v. Maya dba Avante Homes	Clark	Parker, Nelson & Associates	KB Framers	03/25/16
412	5119-N	Lopez v. Maya dba Avante Homes	Clark	Bremer, Whyte, Brown & O'Meara	Landaco Landscaping & Grading	03/25/16
413	5160-C	Chelbab v. George Jue Manuf. Co., dba Paramount Metal & Supply Company, et al.	San Bernardino	Wood, Smith, Henning & Berman	George Jue Manuf. Co., dba Paramount Metal & Supply	04/21/16
414	4992-N	Palms Place, LLC v. Kittrell Garlock & Associates, et al.	Clark	Helm & Associates	Bombard Mechanical	04/27/16
415	5529-C	Lopez v. Memos Scaffolding Norwalk, Inc.	San Bernardino	Taylor-Anderson	Stone Roofing	05/25/16
416	5139-C	Lopez v. SCE	Orange	Friedenthal, Heffernan & Klein, LLP	ARB, Inc.	05/27/16
417	5542-C	Manzano v. Hensel Phelps Construction Co., et al.	Los Angeles	Yoka & Smith, LLP	Hensel Phelps Construction Co., et al.	06/01/16
418	4544-N	Southeast Loft District Association v. Familian Development Group	Clark	Springel & Fink, LLP	All Trades Concrete Construction	06/23/16
419	5306-A	Nesbitt v. Pulte	Maricopa	Jones, Skelton & Hochuli, P.L.C.	Sharico Enterprises	06/24/16
420	5541-C	R&R Construction v. Roski	Los Angeles	Feldman & Associates	R&R Construction	07/05/16
421	5168-C	Robinson v. Gutierrez	San Bernardino	Traut Law Firm	Robinson	07/22/16
422	5352-C	Dietz v. Andelin	Orange	Grant, Genovese & Baratta, LLP	Andelin	07/26/16
423	5277-C	Frick v. KB Home	Riverside	Letofsky - McClain	South Coasts Equipment	08/16/16
424	5578-C	L.A. Construction and Design v. EHG Alpha US, LLC	Los Angeles	Jeffery & Grosfeld	L.A. Construction and Design	09/12/16

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
425	5509-C	Niotta v. ACR Builders	Orange	Yoka & Smith, LLP	ACR Builders	09/13/16
426	5504-C	Braganza v. Pulte (Carriage Place I/II, Commons I) - Murrieta	San Bernardino	Letofsky-McClain	CBR Electric	10/12/16
427	5652-C	Cal-City Construction, Inc. v. People Coordinated Services of Southern California, Inc.	Los Angeles	Feldman & Associates	Cal-City Construction	11/04/16
428	5208-C	Wuest v. KB Home Coastal, Inc., et al.	San Diego	Letofsky - McClain	South Coasts Equipment	11/14/16
429	4545-N	Atkins v. Del Webb	Clark	Bremer, Whyte, Brown & O'Meara	Pratte Development	12/12/16
430	5580-C	Wilder v. The Goodyear Tire & Rubber Company	San Diego	Yukevich Cavanaugh	Santee-Mission Plaza, LLC	01/04/17
431	4908-N	Bard v. Meritage Homes of Nevada	Clark	Resnick & Louis, P.C.	Adams Bros. Interiors	01/10/17
432	5023-N	One Queensridge Place HOA v. Perini Building Company, et al.	Clark	Grant & Associates	Prestige Roofing	1/26/17 1/27/17
433	5120-N	One Queensridge Place HOA v. Perini Building Company, et al.	Clark	Grant & Associates	T. Brothers Tile	1/26/17 1/27/17
434	5121-N	One Queensridge Place HOA v. Perini Building Company, et al.	Clark	Luh & Associates	Azteca Steel	1/26/17 1/27/17
435	5122-N	One Queensridge Place HOA v. Perini Building Company, et al.	Clark	Luh & Associates	Pools by Grube	1/26/17 1/27/17
436	5444-N	One Queensridge Place HOA v. Perini Building Company, et al.	Clark	Grant & Associates	Cima Construction	1/26/17 1/27/17
437	5197-C	Boyce v. Pulte Homes	Orange	Letofsky-McClain	Quad County Windows & Doors	02/03/17
438	5564-A	Lauritzen v. Woodside Homes Sales AZ, LLC	Maricopa	Rai & Barone	Bell Concrete	02/15/17
439	4944-C	Munro v. Tiara Imperial Apartments Association, et al.	Orange	Grant, Genovese & Baratta, LLP	Tiara Imperial Apartments Association, et al.	02/28/17
440	5313-N	Belfor USA Group, Inc. v. Seneca Insurance Company	San Diego	Fox Johns Lazar Pekin & Wexler, APC	U.S. Bank	03/01/17
441	4790-N	Crutcher v. Beazer Homes Holdings Corp.	Clark	Lewis Brisbois Bisgaard & Smith	Desert Plastering	03/06/17
442	4687-N	Hackett v. Centex Homes	Clark	Bremer Whyte Brown & O'Meara, LLP	Continental Landscape	03/06/17
443	5442-N	Hackett v. Centex Homes	Clark	Lewis Brisbois Bisgaard & Smith	Kennington Plastering	03/06/17
444	5686-C	Vincent v. Dinho	Los Angeles	Murchison & Cumming	Dinho	03/14/17
445	5345-C	Bragg v. Pinnacle (The Crossings) - Corona	Orange	Letofsky-McClain	Rancho Framing, Inc.	06/13/17
446	5751-C	Greenlea Residence	Riverside	Brown & Brown	James and Debra Greenlea	06/14/17
447	4944-C	Munro v. Tiara Imperial Apartments Association, et al.	Riverside	Grant, Genovese & Baratta, LLP	Tiara Imperial Apartments Association, et al.	06/20/17
448	5286-N	Shioji v. PNII (Violetto)	Clark	Bremer Whyte Brown & O'Meara, LLP	Pratte Building Systems	06/28/17
449	5887-C	Flenniken v. City of Fountain Valley, et al.	Orange	Hosp, Gilbert & Bergsten	City of Fountain Valley, Fountain Valley Pony Baseball	06/30/17
450	5575-C	Commercial Industrial Building Owners Alliance, Inc. dba CIBA v. San Francisco Unified School District	San Francisco	CP Law Group	CIBA	07/05/17
451	5657-N	Burke Construction Group, Inc. v. Southern Nevada Regional Housing Authority (SNRHA), et al. (Perry Plaza - Lubertha Johnson Estates)	Clark	Parker Nelson & Associates	SNRHA	07/31/17
452	5672-C	Silverline Construction, Inc. v. Coyle/Reno	Orange	Murtaugh Meyer Nelson & Treglia	Silverline Construction	09/19/17

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
453	5705-C	Neshat v. All-Pro Remodeling, Inc.	San Bernardino	Morey & Upton, LLP Panish Shea & Boyle, LLP	Neshat	09/20/17
454	4756-N	Alstatt, et al. v. Centex Homes	Clark	Bremer Whyte Brown & O'Meara, LLP	K&D Construction	10/18/17
455	5031-C	Alstatt, et al. v. Centex Homes	Clark	Grant & Associates	Desert Plastering	10/18/17
456	5619-C	Garcia, et al. v. Rudolph & Sletten, et al.	San Bernardino	Wait & Hufnagel	Rudolph & Sletten, et al.	10/30/17
457	4028-N	High Noon at Arlington Ranch HOA v. D.R. Horton, et al.	Clark	Wolfe & Wyman, LLP	Deck Systems Nevada	11/06/17
458	4610-N	High Noon at Arlington Ranch HOA v. D.R. Horton, et al.	Clark	Brown, Bonn & Friedman, LLP	National Builders	11/06/17
459	5861-C	Page v. Vista Oceano La Mesa Venture	Santa Barbara	Mokri, Vanis & Jones, LLP	Vista Oceano La Mesa Venture	01/05/18
460	5818-N	Tutor Saliba v. Continental	Clark	Parker, Nelson & Associates	Ferguson Fire & Fabrication	01/09/18
461	5830-C	Gilbert Enterprises v. Homme	Los Angeles	The Green Law Group, LLP	Gilbert Enterprises	01/15/18
462	5980-N	Park v. Meritage Homes of Nevada, Inc.	Clark	Brown, Bonn & Friedman, LLP	Westcor Construction	02/07/18
463	5745-C	Derby v. Pulte	Contra Costa	Letofsky-McClain	SelectBuild	03/19/18
464	6094-N	Alstatt, et al. v. Centex Homes	Clark	Bremer, Whyte, Brown & O'Meara	Hutchins Drywall, Inc.	03/22/18
465	5364-N	Carducci v. Centex Homes	Clark	Brown, Bonn & Friedman	Drywall Systems	03/22/18
466	5789-N	Carducci v. Centex Homes	Clark	Brown, Bonn & Friedman	Southwest Iron	03/22/18
467	5979-N	Carducci v. Centex Homes	Clark	Bremer, Whyte, Brown & O'Meara	Continental Landscape	03/22/18
468	5628-C	Chang v. VCC Construction	Los Angeles	Friedenthal, Heffernan & Brown, LLP	VCC Construction	03/23/18
469	5902-C	Frank v. Pulte Homes	Orange	Letofsky-McClain	TWF Construction	04/02/18
470	4854-N	Ballesteros v. Centex	Clark	Lewis Brisbois Bisgaard & Smith	Kennington Plastering	05/08/18
471	5833-N	Brownawell v. Centex Homes	Clark	Resnick & Louis	Norpac Construction	05/08/18
472	5922-N	Wigwam Ranch Square HOA v. D.R. Horton, Inc.	Clark	Grant & Associates	Integrity Wall Systems	06/04/18
473	6043-N	Chiang, et al. v. D.R. Horton, Inc.	Clark	Bremer, Whyte, Brown & O'Meara	Executive Plastering	06/04/18
474	6012-N	JFB Trust v. D.R. Horton	Clark	Lewis Brisbois Bisgaard & Smith	Summit Drywall & Paint	06/05/18
475	5903-C	Borrego Solar Systems, Inc./Catlin Specialty Insurance Company v. Campbell Certified, Inc., et al.	Marin	Trachtman & Trachtman	Bergelectric, Corp.	07/20/18
476	4976-N	First Light at Old Vegas Ranch HOA v. D.R. Horton, Inc., et al.	Clark	Wolfe & Wyman	Quality Wood Products	08/07/18
477	6083-N	Chateau de Lumiere, LLC v. Las Vegas Custom Building Concepts, Inc.	Clark	Bremer, Whyte, Brown & O'Meara	Las Vegas Custom Building Concepts, Inc.	09/05/18
478	6154-C	Piemonte v. Donald T. Sterling	Los Angeles	Grant, Genovese & Baratta, LLP	Sterling Family Trust	09/06/18
479	6092-C	Metropolitan Industries, Inc. v. Special Services for Groups, Inc., et al.	Los Angeles	Selman Breitman	U-Bon aka U-B Contractors	10/09/18
480	6167-C	Hampton v. Huntington Beach Unified School District	Orange	Kubota & Craig	Dorothea Hampton	10/12/18
481	6234-C	Palm v. First Lutheran Church	Los Angeles	Pettit Kohn	First Lutheran Church	11/20/18
482	6149-C	Patel v. K.J. Woods Construction, Inc.	San Francisco	Law Offices of John A. Hauser	K.J. Woods Construction Co.	11/27/18

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
483	6295-C	Taddeo-Bates v. Ifran Khan	Los Angeles	Gates, Gonter, Guy, Proudfoot & Muench	Villa San Remo HOA	01/02/19
484	6211-N	Sun City Anthem Community Association, Inc. v. Del Webb Communities, Inc.	Clark	Selman Breitman	L&R Integrity	02/07/19
485	6212-N	Sun City Anthem Community Association, Inc. v. Del Webb Communities, Inc.	Clark	Selman Breitman Bremer, Whyte, Brown & O'Meara	Sky Design Concepts	02/07/19
486	6172-C	Mallcraft, Inc. v. Glendale Community College District	Los Angeles	Hunt Ortmann	Mallcraft, Inc.	02/11/19
487	6172-C	Mallcraft, Inc. v. Glendale Community College District	Los Angeles	Hunt Ortmann	Mallcraft, Inc.	02/14/19
488	5848-C	T-12 Three, LLC v. Turner Construction Company, et al. (The Hard Rock Hotel)	Orange	Wolfe & Wyman	Afdon Contracting	03/13/19
489	6354-C	Heather Anthony v. Denise Gilbert, et al. (Biltmore Colony Condos)	Riverside	Letofsky-McClain	Larry Methvin Installations	03/19/19
490	6338-C	Netka v. Yagmai Vida/Kyas Trust, R.T. Abbott Construction, Inc.	Los Angeles	Law Office of Jillisa O'Brien	R.T. Abbott Construction, Inc.	03/25/19
491	5955-C	Sparks, et al. v. CalAtlantic Group, Inc.	Riverside	Plante Lebovic, LLP	CalAtlantic Group, Inc.	04/25/19
492	5944-A	QIP Tucson Office I, LLC v. Sundt Construction, Inc.	Pima	Coblentz Patch Duffy & Bass LLP	QIP Tucson Office I, LLC;	05/22/19
493	6292-C	State Farm General Insurance Co. v. Gelb	Santa Barbara	Clark Hill	Gelb	06/05/19
494	6317-C	Cerneka, et al. v. Russell No. 8 Santa Monica Properties, LLC	Los Angeles	Buchalter	Russell No. 8 Santa Monica Properties, LLC	07/11/19
495	6396-C	Tesoro Refining & Marketing Company LLC v. Rickley/Roit	Los Angeles	Buchalter	Tesoro Refining & Marketing Company LLC	07/12/19
496	6450-C	KPRS Construction Services, Inc. v. Allied Subcontractors	Orange	Mokri, Vanis & Jones, LLP	Allied Subcontractors	08/13/19
497	6298-C	Park v. First Gramercy Realty	Orange	Law Offices of John A. Hauser	First Gramercy Realty, LLC and First Wilshire Realty, LLC	09/13/19
498	6485-C	Howard v. Bowe Construction, et al. (Pleasant Valley State Prison)	San Bernardino	Wood Smith Henning & Berman	Jacobs Project Management Co.	10/02/19
499	6409-C	Cornejo v. Serrato; U.S. Bank	Los Angeles	Trachtman & Trachtman	U.S. Bank National Association	10/22/19
500	5071-N	Henning v. D.R. Horton	Clark	Helm & Associates	Gilmore Construction	10/23/19
501	6417-N	Henning v. D.R. Horton	Clark	Bremer, Whyte, Brown & O'Meara	SelectBuild Nevada	10/23/19
502	6427-N	Henning v. D.R. Horton	Clark	Bremer, Whyte, Brown & O'Meara	Red Rose Roofing	10/23/19
503	6479-C	Miller v. BPO Elks Lodge, et al.	Los Angeles	Murchison & Cumming	BPO Elks Lodge	11/20/19
504	6201-A	Nationwide Mutual Insurance Company v. Silverton Contractors, Inc.	Maricopa	Bauman, Loewe, Witt, & Maxwell	Nationwide Mutual Insurance Company	11/25/19
505	5869-C	Chernick v. Safeco Insurance Company, et al.	Los Angeles	Murchison & Cumming	Two Eleven Spalding Condo Association	02/12/20
506	6344-C	Franco / AWI v. Rodriguez Brothers Engineering, Inc.	Los Angeles	Yee & Associates	Rodriguez Brothers Engineering, Inc.	02/19/20
507	6449-C	Thieriot v. Dynamic Architectural, et al.	Marin County	Lincoln, Gustafson & Cercos LLP	Lusardi Construction	05/04/20
508	6180-C	Lifetech Resources, LLC v. Anderson Construction, Inc.	Los Angeles	The Green Law Group	Anderson Construction, Inc.	06/01/20
509	6678-C	Ross v. Ressler	Orange County	Gates, Gonter, Guy, Proudfoot & Muench	Barron E. Ressler	08/11/20

#	Case #	Case Caption	County	Retained By	Client / Insured	Date of Deposition
510	6693-C	Gastelo v. Brookfield Properties Management, Inc.; Brookfield Los Angeles Builders, Inc.	Orange County	Wood Smith Henning & Berman	Brookfield Properties Management, Inc.; Brookfield Los Angeles Builders, Inc.	08/14/20
511	6744-C	Neman, et al. v. State Farm General Ins. Co.	Los Angeles	Cozen O'Conner	State Farm	11/30/20
512	6538-C	Ignatuk v. Besnos	Los Angeles	Jeffery & Grosfeld	Horizon Construction & Remodeling, Inc.	02/25/21
513	6623-N	Paluch v. Harko, LLC dba Harbor Island Apartments	Clark County	Tyson & Mendes	Harbor Island Apartments	03/02/21
514	6394-C	C.W. Driver, Inc. v. 18131 Ventura Boulevard LLC	Los Angeles	Cooksey Toolen Gage Duffy & Woog	Commercial Group	03/05/21
515	6794-C	Gardner v. CP IV G8, LLC, et al.	Los Angeles	Tharpe & Howell, LLP	CP IV G8, LLC; Greystar Real Estate Partners, LLC	03/25/21
516	5812-C	Bernards Builders, Inc. v. Plaza La Reina	Los Angeles	Hunt Ortmann	Plaza La Reina	5/05/21 5/06/21
517	6543-C	PS Business Parks, L.P. v. George Shimizu, et al.	Orange County	Friedenthal, Heffernan & Brown, LLP	Michael Chislock	05/19/21
518	6653-A	Density Investments v. Timber Peaks Construction LLC	Maricopa	Rai & Barone	Timber Peaks Construction LLC	07/07/21
519	6509-C	Cabinet Installation Masters, Inc. v. Ruth and Michael Miniaci	Los Angeles	Plumtree & Associates/ Haffner Law Group	Isam Maaytah Corporation, Inc. dba Cabinet Installation Masters	07/09/21
520	6820-C	Carr v. City of Dana Point	Orange County	Kubota & Craig	Carr	08/23/21

# EXHIBIT C

